

To: Members of the Planning Committee    Date: 8 April 2019  
Direct Dial: 01824 712589  
e-mail: democratic@denbighshire.gov.uk

Dear Councillor

You are invited to attend a meeting of the **PLANNING COMMITTEE** to be held at **9.30 AM** on **WEDNESDAY, 17 APRIL 2019** in **THE COUNCIL CHAMBER, COUNTY HALL, RUTHIN.**

Yours sincerely

G Williams  
Head of Legal, HR and Democratic Services

## **AGENDA**

### **1 APOLOGIES**

### **2 DECLARATIONS OF INTEREST (Pages 9 - 10)**

Members to declare any personal or prejudicial interests in any business identified to be considered at this meeting.

### **3 URGENT MATTERS AS AGREED BY THE CHAIR**

Notice of items which, in the opinion of the Chair, should be considered at the meeting as a matter of urgency pursuant to Section 100B(4) of the Local Government Act, 1972.

### **4 MINUTES (Pages 11 - 16)**

To confirm the accuracy of the minutes of the Planning Committee meeting held on 13 February 2019 (copy attached).

## **APPLICATIONS FOR PERMISSION FOR DEVELOPMENT (ITEMS 5 - 7) -**

### **5 APPLICATION NO. 41/2019/0089/PF - NANT GWILYM FARM, TREMEIRCHION LL17 0UG (Pages 17 - 48)**

To consider an application for conversion of outbuildings to form 4 no. holiday let accommodation units, erection of bat loft, installation of a septic tank, alterations to existing vehicular access arrangements and associated works at outbuildings at Nant Gwilym Farm, Tremeirchion LL17 0UG (copy attached).

### **6 APPLICATION NO. 43/2019/0112/PF - 83 GRONANT ROAD, PRESTATYN LL19 9NA (Pages 49 - 66)**

To consider an application for the erection of replacement dwelling and associated works at 83 Gronant Road, Prestatyn LL19 9NA (copy attached).

### **7 APPLICATION NO. 22/2019/0275/PF - TIRIONFA, HENDREWYDD (Pages 67 - 86)**

To consider an application for erection of extensions and alterations to dwelling at Tirionfa, Hendrerwydd, Denbigh (copy attached).

### **8 REPORT ON CONSULTATION AND ADOPTION OF CHANGES TO RHYL CONSERVATION AREA (Pages 87 - 108)**

To consider a report by the Strategic Planning & Housing Manager and the Principal Planning & Public Protection Officer, to agree changes to the extent of the Rhyl Conservation Area (copy attached).

## **MEMBERSHIP**

### **Councillors**

Councillor Joe Welch (Chair)

Councillor Alan James (Vice-Chair)

Ellie Chard  
Ann Davies  
Meirick Davies  
Peter Evans  
Brian Jones  
Huw Jones  
Tina Jones  
Gwyneth Kensler  
Christine Marston

Bob Murray  
Merfyn Parry  
Pete Prendergast  
Andrew Thomas  
Tony Thomas  
Julian Thompson-Hill  
Emrys Wynne  
Mark Young

**COPIES TO:**

All Councillors for information  
Press and Libraries  
Town and Community Councils

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## **WELCOME TO DENBIGHSHIRE COUNTY COUNCIL'S PLANNING COMMITTEE**

### **HOW THE MEETING WILL BE CONDUCTED**

Unless the Chair of the Committee advises to the contrary, the order in which the main items will be taken will follow the agenda set out at the front of this report.

#### **General introduction**

The Chair will open the meeting at 9.30am and welcome everyone to the Planning Committee.

The Chair will ask if there are any apologies for absence and declarations of interest.

The Chair will invite Officers to make a brief introduction to matters relevant to the meeting.

Officers will outline as appropriate items which will be subject to public speaking, requests for deferral, withdrawals, special reports, and any Part 2 items where the press and public may be excluded. Reference will be made to additional information circulated in the Council Chamber prior to the start of the meeting, including the late representations/amendments summary sheets ('Blue Sheets') and any supplementary or revised plans relating to items for consideration.

The Blue Sheets contain important information, including a summary of material received in relation to items on the agenda between the completion of the main reports and the day before the meeting. The sheets also set out the proposed running order on planning applications, to take account of public speaking requests.

In relation to the running order of items, any Members seeking to bring forward consideration of an item will be expected to make such a request immediately following the Officer's introduction. Any such request must be made as a formal proposal and will be subject to a vote.

The Planning Committee consists of 21 elected Members. In accordance with protocol, 11 Members must be present at the start of a debate on an item to constitute quorum and to allow a vote to be taken.

County Council Members who are not elected onto Planning Committee may attend the meeting and speak on an item, but are not able to make a proposal to grant or refuse, or to vote.

### **CONSIDERING PLANNING APPLICATIONS**

#### **The sequence to be followed**

The Chair will announce the item which is to be dealt with next. In relation to planning applications, reference will be made to the application number, the location and basis of the proposal, the relevant local Members for the area, and the Officer recommendation.

If any Member is minded to propose deferral of an item, including to allow for the site to be visited by a Site Inspection Panel, the request should be made, with the planning reason for deferral, before any public speaking or debate on that item.

If there are public speakers on an item, the Chair will invite them to address the Committee. Where there are speakers against and for a proposal, the speaker against will be asked to go first. The Chair will remind speakers they have a maximum of 3 minutes to address the Committee. Public speaking is subject to a separate protocol.

Where relevant, the Chair will offer the opportunity for Members to read any late information on an item on the 'Blue Sheets' before proceeding.

Prior to any debate, the Chair may invite Officers to provide a brief introduction to an item where this is considered to be worthwhile in view of the nature of the application.

There are display screens in the Council Chamber which are used to show photographs, or plans submitted with applications. The photographs are taken by Officers to give Members a general impression of a site and its surroundings, and are not intended to present a case for or against a proposal.

The Chair will announce that the item is open for debate and offer Members opportunity to speak and to make propositions on the item.

If any application has been subject to a Site Inspection Panel prior to the Committee, the Chair will normally invite those Members who attended, including the Local Member, to speak first.

On all other applications, the Chair will permit the Local Member(s) to speak first, should he/she/they wish to do so.

Members are normally limited to a maximum of five minutes speaking time, and the Chair will conduct the debate in accordance with Standing Orders.

Once a Member has spoken, he/she should not speak again unless seeking clarification of points arising in debate, and then only once all other Members have had the opportunity to speak, and with the agreement of the Chair.

At the conclusion of Members debate, the Chair will ask Officers to respond as appropriate to questions and points raised, including advice on any resolution in conflict with the recommendation.

Prior to proceeding to the vote, the Chair will invite or seek clarification of propositions and seconders for propositions for or against the Officer recommendation, or any other resolutions including amendments to propositions. Where a proposition is made contrary to the Officer recommendation, the Chair will seek clarification of the planning reason(s) for that proposition, in order that this may be recorded in the Minutes of the meeting. The Chair may request comment from the Legal and Planning Officer on the validity of the stated reason(s).

The Chair will announce when the debate is closed, and that voting is to follow.

## **The voting procedure**

Before requesting Members to vote, the Chair will announce what resolutions have been made, and how the vote is to proceed. If necessary, further clarification may be sought of amendments, new or additional conditions and reasons for refusal, so there is no ambiguity over what the Committee is voting for or against.

If any Member requests a Recorded Vote, this must be dealt with first in accordance with Standing Orders. The Chair and Officers will clarify the procedure to be followed. The names of each voting Member will be called out and each Member will announce whether their vote is to grant, to refuse, or to abstain. Officers will announce the outcome of the vote on the item.

If a vote is to proceed in the normal manner via the electronic voting system, the Chair will ask Officers to set up the voting screen(s) in the Chamber, and when requested, Members must record their votes by pressing the appropriate button (see following sheet).

Members have 10 seconds to record their votes once the voting screen is displayed, unless advised otherwise by Officers.

On failure of the electronic voting system, the vote may be conducted by a show of hands. The Chair and Officers will clarify the procedure to be followed.

On conclusion of the vote, the Chair will announce the decision on the item.

Where the formal resolution of the Committee is contrary to Officer recommendation, the Chair will request Members to agree the process through which planning conditions or reasons for refusal are to be drafted, in order to release the Decision Certificate (e.g. delegating authority to the Planning Officer, to the Planning Officer in liaison with Local Members, or by referral back to Planning Committee for ratification).

# PLANNING COMMITTEE

## ELECTRONIC VOTING PROCEDURE

Members are reminded of the procedure when using the electronic voting system to cast their vote.

Unless otherwise advised by the Chair or Officers, once the display screens in the Chamber have been cleared in preparation for the vote, and the voting screen appears, Councillors have 10 seconds to record their vote as follows:

When voting on **applications**, on the voting keyboard, press

- 1** - to **GRANT / APPROVE** the application
- 2** – to **ABSTAIN** from voting on the application
- 3** – to **REFUSE** the application

When voting on **special reports and enforcement items**, on the voting keyboard, press

- 1** - to **ACCEPT THE OFFICER RECOMMENDATION**
- 2** - to **ABSTAIN** from voting on the recommendation
- 3** - to **NOT ACCEPT THE OFFICER RECOMMENDATION**

In the event of problems with the electronic voting system, the Chair or Officers will advise on the procedures to be followed.

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## LOCAL GOVERNMENT ACT 2000

### Code of Conduct for Members

### DISCLOSURE AND REGISTRATION OF INTERESTS

I, *(name)*

a \*member/co-opted member of

*(\*please delete as appropriate)*

**Denbighshire County Council**

**CONFIRM** that I have declared a **\*personal / personal and prejudicial** interest not previously declared in accordance with the provisions of Part III of the Council's Code of Conduct for Members, in respect of the following:-

*(\*please delete as appropriate)*

Date of Disclosure:

Committee *(please specify)*:

Agenda Item No.

Subject Matter:

Nature of Interest:

*(See the note below)\**

Signed

Date

\*Note: Please provide sufficient detail e.g. 'I am the owner of land adjacent to the application for planning permission made by Mr Jones', or 'My husband / wife is an employee of the company which has made an application for financial assistance'.

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## PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held in the Council Chamber, County Hall, Ruthin on Wednesday, 13 March 2019 at 9.30 am.

### PRESENT

Councillors Ellie Chard, Ann Davies, Alan James (Vice-Chair), Huw Jones, Tina Jones, Gwyneth Kensler, Christine Marston, Bob Murray, Merfyn Parry, Pete Prendergast, Andrew Thomas, Tony Thomas, Julian Thompson-Hill, Joe Welch (Chair), Emrys Wynne and Mark Young

### ALSO PRESENT

Team Leader - Places Team (SC); Development Control Manager (PM); Senior Engineer - Highways (MP); Engineer (JB); Planning Officer - Career Grade (DS); Principal Planning Officer (SS) and Committee Administrator (RTJ)

#### 1 APOLOGIES

Apologies for absence were received from Councillor Peter Evans, Meirick Lloyd Davies and Brian Jones.

#### 2 DECLARATIONS OF INTEREST

The following members declared a personal interest -

Councillor Julian Thompson-Hill – Agenda Item 8 - because he was the Lead Member for Property and the land was in the Council's ownership

Councillor Tina Jones – Agenda item 8 - because she had a business relationship with Macbryde Homes Ltd.

#### 3 URGENT MATTERS AS AGREED BY THE CHAIR

No urgent matters had been raised.

#### 4 MINUTES

The minutes of the Planning Committee held on 13 February 2019 were submitted.

**RESOLVED** that, subject to the above, the minutes of the meeting held on 13 February 2019 be approved as a correct record.

#### APPLICATIONS FOR PERMISSION FOR DEVELOPMENT (ITEMS 5 - 8) -

Applications received requiring determination by the committee were submitted together with associated documentation. Reference was also made to late supplementary

information (blue sheets) received since publication of the agenda which related to particular applications. In order to accommodate public speaking requests it was agreed to vary the agenda order of applications accordingly.

## **5 APPLICATION NO. 01/2018/0705/ PF - THE GLYN LLEWENI PARC MOLD ROAD DENBIGH**

An application was submitted for the Development of 1.3 ha of land by the siting of 24 accommodation lodges and associated works at The Glyn Lleweni Parc, Mold Road, Denbigh.

### **Public Speaker –**

Nerys Edwards (**AGAINST**) – Stated that the application was in direct contradiction of local development plan policy PSE12 and the current LDP which wouldn't allow any development of this nature to be permitted. The lack of detail in a business plan did not allow the committee to carry out an informed decision with the impact on the local economy.

The accessibility to the site via public transport remained an issue, and local residents would be affected by the development and the increase in traffic on the access road. There had been no provision for the wellbeing and safety for visitors to the site.

The lack of detail on provision of utilities services would not allow the Planning Committee to make an informed decision, on the impact on the infrastructure and the aquifer. There were also concerns with the Health and Safety of the site due to the access passing through an active airfield. There would also need to be an increase of monitoring by the Council to ensure that there would be no permanent residency at the proposed site.

Rodney Witter (**FOR**) – Stated that the committee and the enterprise have a common aim for developments which would be in harmony with nature and sustainable housing.

The park has been transformed following previous granted planning permissions. In 1990 permission of wind gliders which caused the RAF to look for another site. Another application allowed the reclamation of the old Lleweni hall shrubbery, which established a small park for tourer caravans. Permission was granted for the reclamation of old buildings which allowed the development of a hamlet of 17 dwellings.

The theme of the application was the diversity of the rural economy which was in line with the County's policy. This development would allow the rural economy to grow, like those carried out in neighbouring counties. There had been support received by 56 visitors in favour of the application. The Council could implement a 28 day occupancy limits to ensure no permanent residency at the site.

**General Debate** – Local member Councillor Mark Young expressed concern with lack of detail with what would be developed due to there being an absence of a

business case, and it was also raised why the application did not adhere to the local development plan policy PSE12. Councillor Rhys Thomas added that he did not see any reason in the report to go against officer's recommendation of refusal.

It was clarified that the adopted LDP Policy seeks to resist new static caravan parks in the County regardless of whether they were rural or coastal developments, and the proposed lodges fall within the legal definition of a caravan.

**Proposal** – Councillor Mark Young proposed the officer recommendation to refuse the application, seconded by Councillor Gwyneth Kensler.

VOTE:  
GRANT – 0  
REFUSE – 16  
ABSTAIN – 0

**RESOLVED** that permission be **REFUSED** in accordance with officer recommendations as detailed within the report.

**6 APPLICATION NO. 44/2018/0855/ PR - LAND EAST OF TIRIONFA RHUDDLAN RHYL**

A reserved matter application had been received for details of access, appearance, landscaping, layout and scale of 99 dwellings submitted in accordance with condition number 1 of outline permission code 44/2015/1075, at land east of Tirionfa, Rhuddlan.

Local member Councillor Ann Davies proposed that the application be deferred, on the ground that there was insufficient evidence by Welsh Water in regards to a public sewer crossing the site. Councillor Bob Murray seconded the proposed deferment.

Officers informed the members the site was an allocated site, with outline planning permission. The application was to assess the reserved matters from the Outline Consent, officers had also not received any objections by Welsh Water, the specialist body on the drainage. Officers recommended not to defer the application.

VOTE:  
DEFERAL – 5  
NOT TO DEFER – 10  
ABSTAIN – 0

The committee **resolved** not to defer the application and the debate continued.

**PUBLIC SPEAKERS –**

Pauline Evans (**AGAINST**) – Stated that Rhuddlan's infrastructure could not deal with a development of this size, especially the drainage.

Clarity on the plans was lacking in measurements on how far the proposed dwellings would be from the properties on Pentre Lane.

Under UDP and LDP considerable housing and other developments have been constructed in Rhuddlan, which contradicted the needs for the County. Welsh Government had overestimated net migration in the County and a development of this scale was not required.

Rhuddlan has a large traffic problem from all the towns in the area, and the additional proposed houses would have a negative effect on the pre-existing traffic problem. School places were at a premium.

Stuart Andrew (**FOR**) – Clarified that the application was a reserved matter application, the site had previously granted planning permission, and the land was sold by the Council for the development of housing.

Of the proposed 99 dwellings, 10 dwellings would be affordable; there would be six, two bedroom houses; and four, four bedroom properties. A play area along with a half an acre of landscaped open space area would be made available for use by the public, which would be agreed by the Council. There would be a financial contribution towards local schools of £384,000 and an additional £77,000 for improvement to pre-existing open green spaces. There had been no objections from specialist bodies to the development.

**General Debate** – Councillor Christine Marston commended the site visit which was conducted on the 8<sup>th</sup> March, it was clarified that any concerns with the sewerage pipe were rectified following the visit.

Councillor Ann Davies (Local Member) spoke against the reserved matters application stating that the local residents have had long running issues against the development. The local school was currently full to capacity and could not take any more children, development of the school couldn't be carried out due to the school being on CADW land.

Cllr Davies also had concerns with the additional traffic that the development would cause, as there was already a large problem with traffic in Rhuddlan. The current sewerage would need upgrading to manage the additional properties in Rhuddlan. The size of the proposed properties was also highlighted as the housing list for waiting residents in Rhuddlan had not demonstrated any need for the 58, 4 bedroom houses.

Councillor Arwel Roberts (Local Member) also spoke against the application. The development would have a detrimental effect on the identity of the town, and a negative impact on the Welsh language in the area. The concerns with the traffic were reiterated.

Concerns were raised by members due to the proposed 58 no. 4 bed houses, being proposed. The emergency access which was shown was queried on whether it would be useable by vehicles.

In response to members questions and comments officers advised that –

- The variation of proposed dwellings included 1, 2, 3 and 4 bedroom houses and would meet the affordable housing agreement for 10% of the properties being affordable housing. Members were informed that the developer would build 10 dwellings rather than 9 which would go above the 10% required by the LDP.
- The matter with the drainage was for Welsh Water, the body responsible for capacity, connection, management and maintenance of drainage infrastructure. They had not raised any concerns or objections, at either site allocation stage, outline planning permission stage or as part of this detailed reserved matters proposal.
- There would be a new access to the site, the cycle path would cross the new access. The 30mph sign would also be moved to accommodate the new access to the site.
- The emergency exit would not be available to vehicles.

**Proposal** – Councillor Ann Davies proposed, seconded by Councillor Andrew Thomas that the application be refused on the grounds that the application would have an adverse impact on the amenities, and the wellbeing of the residents and that the current drainage and sewerage works could not deal with the proposed development.

VOTE:

GRANT - 14

REFUSE - 1

ABSTAIN - 0

**RESOLVED** that permission be **GRANTED** in accordance with officer recommendations as detailed within the report and supplementary papers

**7 APPLICATION NO. 15/2018/1130/ AD - PARC FARM CARAVAN PARK  
LLANARMON YN IAL MOLD**

An application was submitted for the erection of a stone wall with inset hoarding sign as an extension to an existing stone wall.

General Debate – Councillor Huw Jones queried whether the signage would be required to be bilingual. In response officers stated the Supplementary Planning Guidance gave clear guidance that signage should be bilingual where possible, but in this instance the name was bilingual already.

**Proposal** – Councillor Huw Jones proposed the officer recommendation to grant the application, seconded by Councillor Gwyneth Kensler.

VOTE:

GRANT – 15

REFUSE – 0

ABSTAIN – 0

**RESOLVED** that permission be **GRANTED** in accordance with officer recommendations as detailed within the report.

**8 APPLICATION NO. 18/2019/0124/ TP - 11 PARC TYN LLAN LLANDYRNOG DENBIGH**

An application was submitted for works to elm tree and sycamore trees subject to a Tree Preservation Order at 11 Parc Tyn Llan Llandyrnog Denbigh.

**General Debate** – Local member Councillor Merfyn Parry informed the committee that the Community Council had no objections to the works being carried out.

**Proposal** – Councillor Merfyn Parry proposed the officer recommendation to grant the application, seconded by Councillor Gwyneth Kensler.

**VOTE:**

GRANT - 16

REFUSE - 0

ABSTAIN - 0

**RESOLVED** that permission be **GRANTED** in accordance with officer recommendations as detailed within the report

**9 INFORMATION REPORT - PLANNING APPEALS UPDATE**

**RESOLVED** the information in the report be noted by members.

**10 INFORMATION REPORT - NORTH WALES CONNECTION PROJECT**

**RESOLVED** the information in the report be noted by members.

The meeting concluded at 10:56am



# Agenda Item 5

**WARD :** Tremeirchion

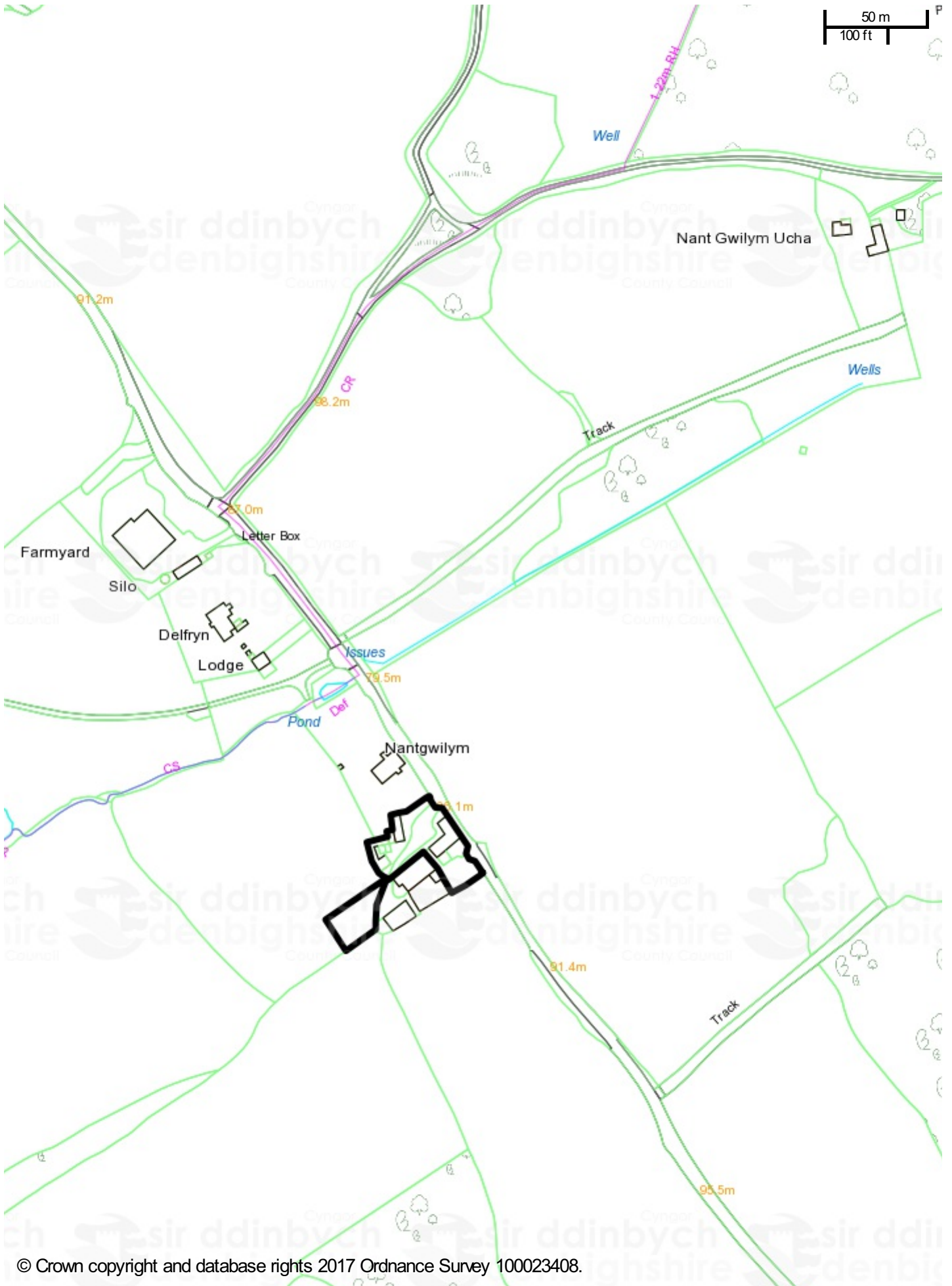
**WARD MEMBER:** Councillor Christine Marston (C)

**APPLICATION NO:** 41/2019/0089/ PF

**PROPOSAL:** Conversion of outbuildings to form 4 no. holiday let accommodation units, erection of bat loft, installation of a septic tank, alterations to existing vehicular access arrangements and associated works

**LOCATION:** Outbuildings at Nant Gwilym Farm Tremeirchion St Asaph LL17 0UG

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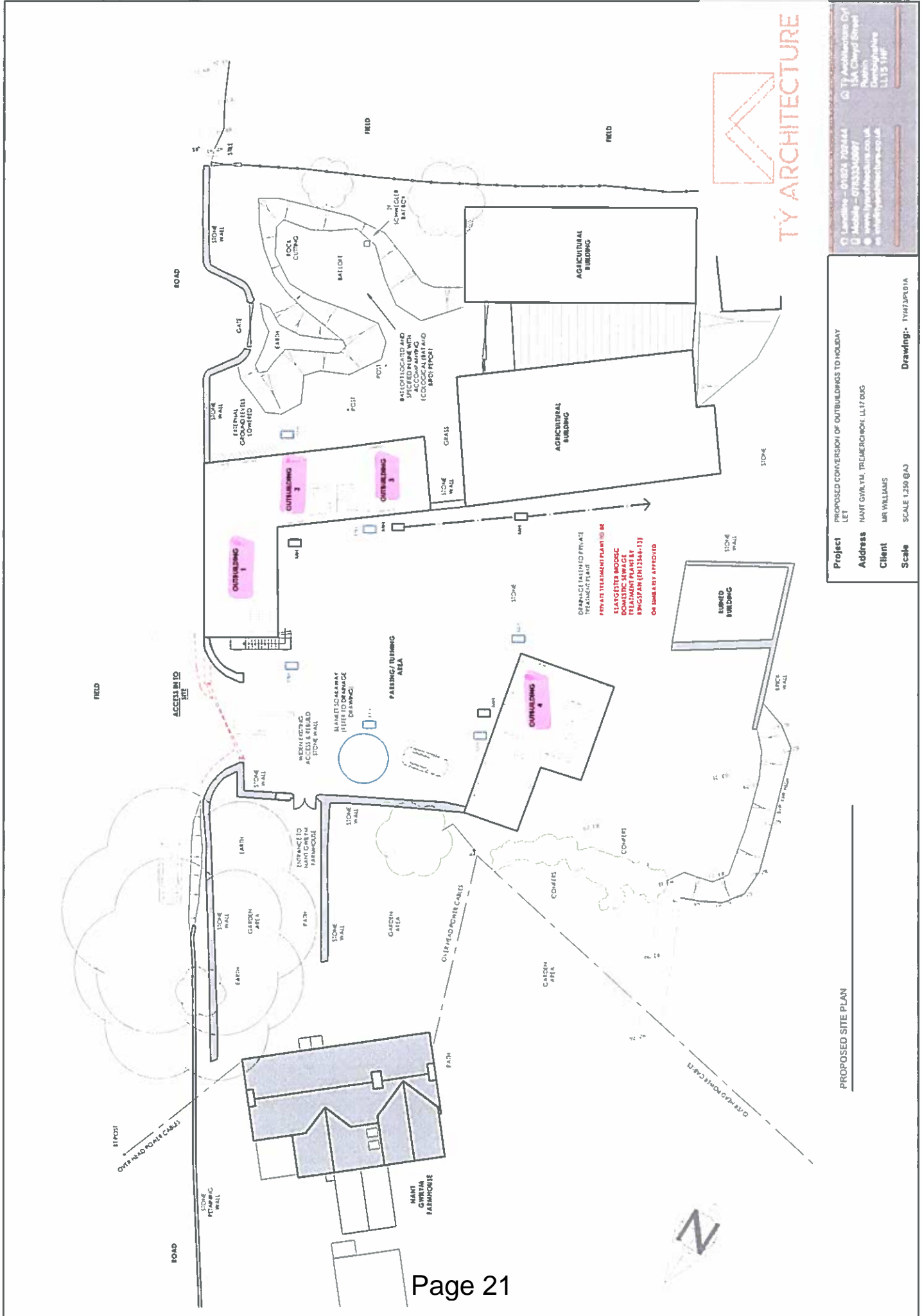
41/2019/0089

Scale: 1:2500

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# PROPOSED SITE PLAN



Ty Architecture Ltd  
 15A, Clewyd Street  
 Puyshon  
 Denbighshire  
 LL15 1HF  
 Landline - 01824 702444  
 Mobile - 07833346997  
 www.tyarchitecture.co.uk  
 info@tyarchitecture.co.uk

**Project** PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET  
**Address** MANTON FARM, TREMERCHON, LL17 0UG  
**Client** MR WILLIAMS  
**Scale** SCALE 1:250 @A3  
**Drawing** TYA73P101A

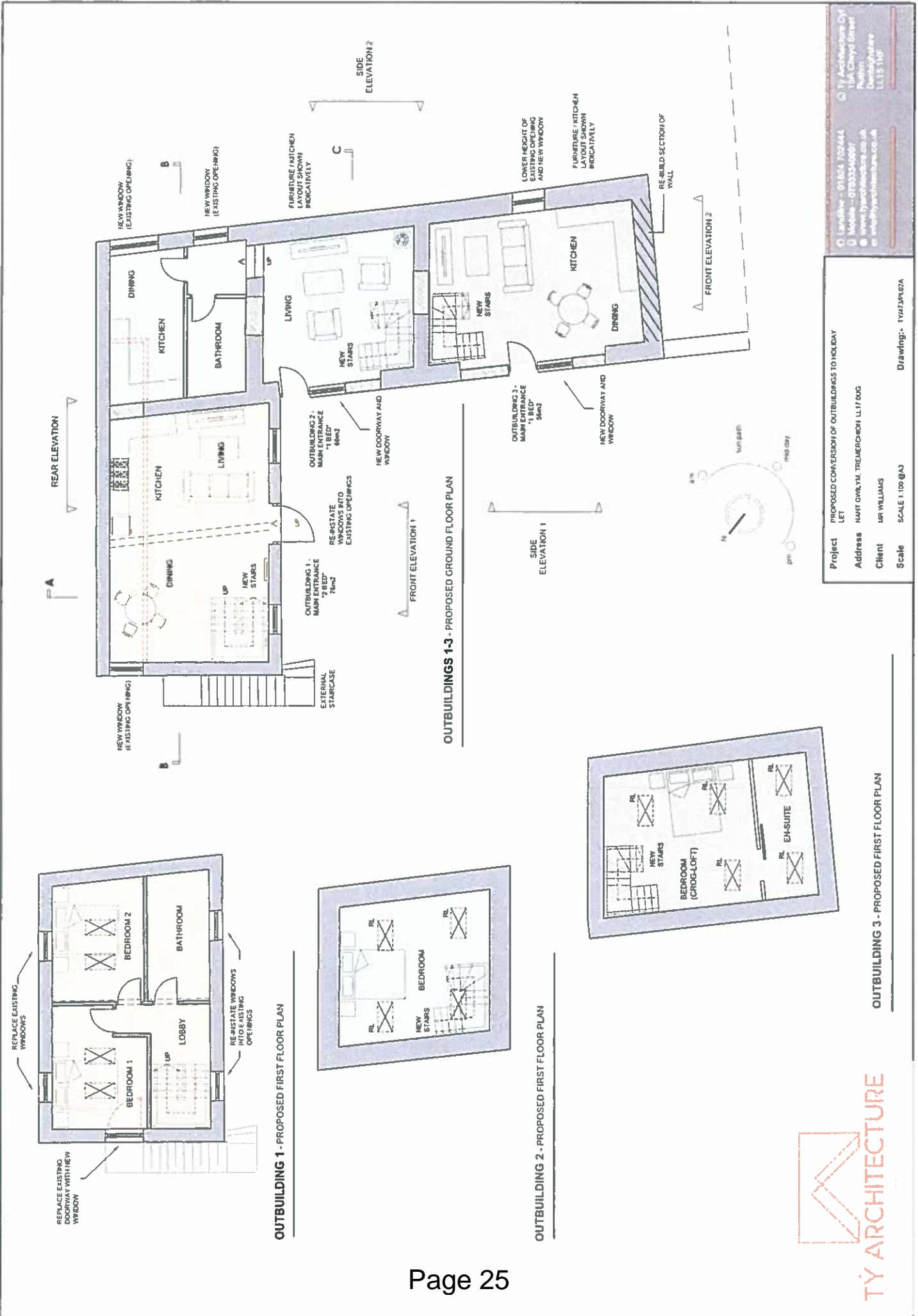
PROPOSED SITE PLAN











Ty Architecture Ltd  
 15A Chayd Street  
 Poulton  
 Dombigfshere  
 LL15 1HF  
 Landline - 01854 702444  
 Mobile - 07733340997  
 www.tyarchitecture.co.uk  
 info@tyarchitecture.co.uk

Project: PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET  
 Address: HAIT GWYLLI, TREMERCHON LL17 0UG  
 Client: MR WILLIAMS  
 Scale: SCALE 1:100 @ A3  
 Drawing: TYA73P.02A





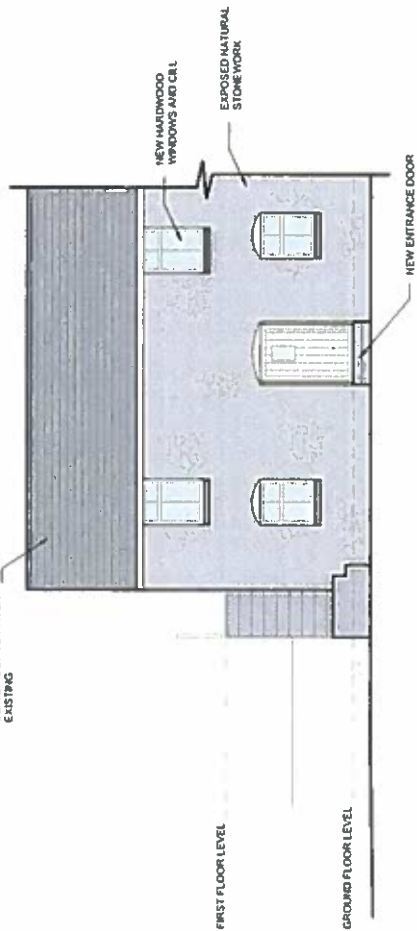




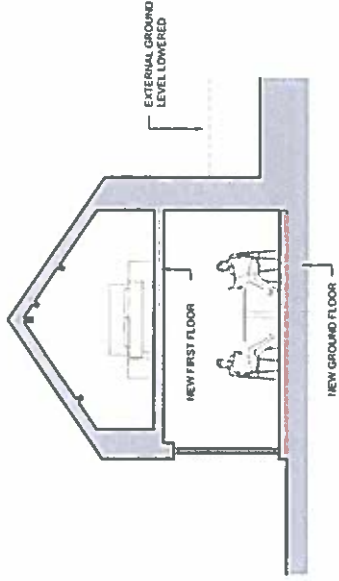
AS PROPOSED



TY Architecture Ltd  
 15A Chryd Street  
 Rushin  
 Denbighshire  
 LL15 1HF  
 Landline - 01924 789444  
 Mobile - 07833340807  
 www.tyarchitecture.co.uk  
 info@tyarchitecture.co.uk

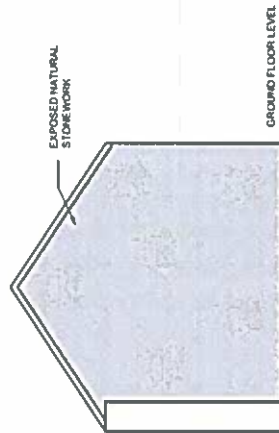


OUTBUILDING 1 - PROPOSED FRONT ELEVATION (1)



OUTBUILDING 1 - PROPOSED SECTION C

AREA OF EXISTING WALL TO BE REBUILT



RE-BUILD AREA SHOWN  
 Hatched area to match  
 existing wall line with  
 structural engineers  
 report

GROUND FLOOR LEVEL

OUTBUILDING 1 - PROPOSED FRONT ELEVATION (2)

EXTERNAL FINISHES
EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING
ROOF - NATURAL SLATE TO MATCH EXISTING
WINDOWS - TIMBER DOUBLE GLAZED - LIGHT WOODY (RAL 1013) OR SIMILAR - GREY FROTHUCOATS (BY VELUX)
DOORS - COMPOSITE /TIMBER
RAINWATER GOODS - GREY UPVC (BY HADLEY OR SIMILAR)
FASCIAS - PAINTED TIMBER - LIGHT WOODY (RAL 1013) OR SIMILAR

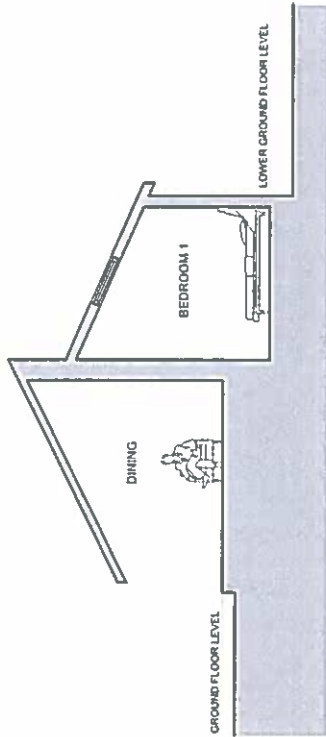
Project	PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
Address	MART GWELYM, TREMERCHON LL17 0UG
Client	MR WILLIAMS
Scale	SCALE 1:100 @A3
Drawing	TYAT3P103



# OUTBUILDING 4 AS PROPOSED



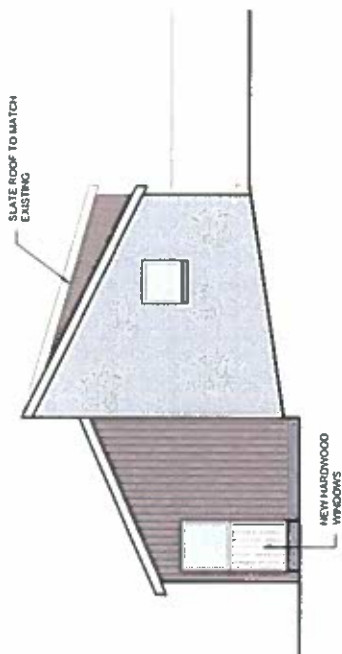
Ty Architects Ltd  
 15A Chelyd Street  
 Durham  
 Derbyshire  
 LL15 1HF  
 Telephone - 01825 702444  
 Mobile - 07833540987  
 www.tyarchitecture.co.uk  
 info@tyarchitecture.co.uk



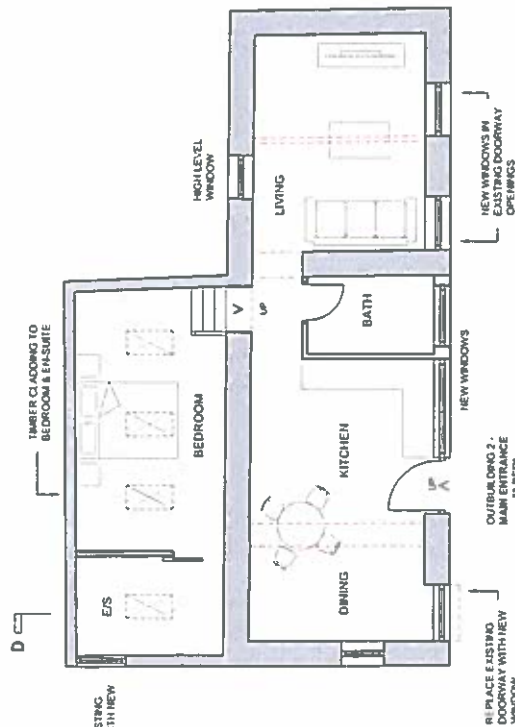
OUTBUILDING 4 - PROPOSED SECTION D



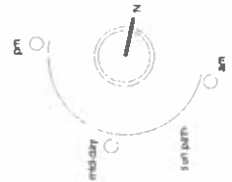
OUTBUILDING 4 - PROPOSED FRONT ELEVATION



OUTBUILDING 4 - PROPOSED SIDE ELEVATION - 1



OUTBUILDING 4 - PROPOSED GROUND FLOOR PLAN



ESTERIAL BRICKS
EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING
INTERNAL WALLS - TIMBER CLADDING (WHERE INDICATED)
FLOOR - NATURAL SLATE TO MATCH DINING
WINDOWS - WHITE DOUBLE GLAZED - 1800mm HIGH (BY V&J)
DOORS - COMPOSITE / TIMBER
PARTIALER GOODS - GREY UPVC (BY HAREL OF SNAPE)
FASCIA'S - PAINTED TIMBER - LIGHT GREY (BY HAREL OF SNAPE)

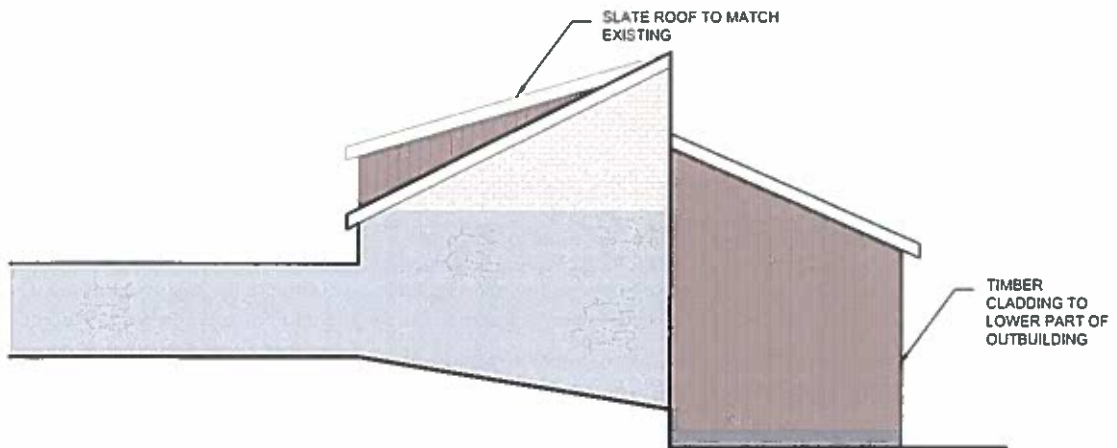
Project	PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET
Address	HUNT CROFT, TREMERCHON LL17 0UG
Client	MR WILLIAMS
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Drawing#	TY173PUBA



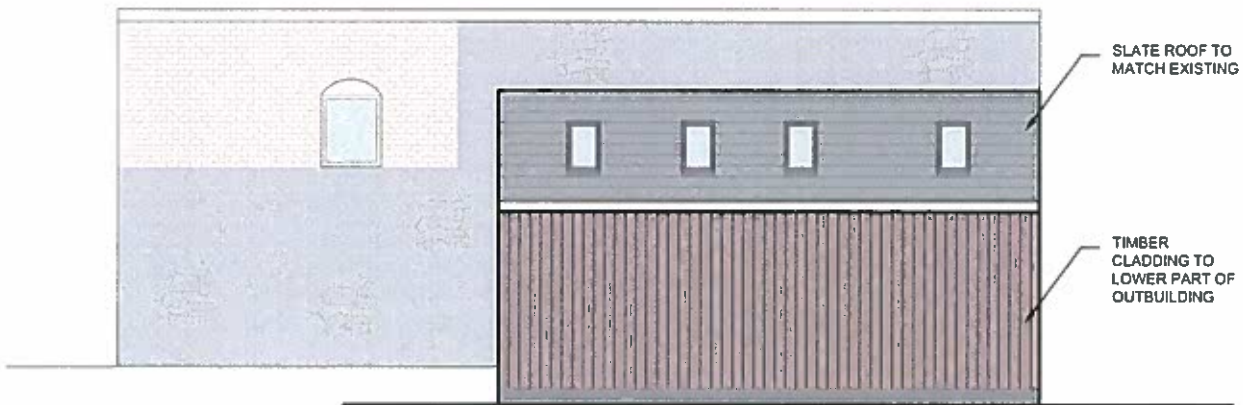


# OUTBUILDING 4

AS PROPOSED



**OUTBUILDING 4 - PROPOSED SIDE ELEVATION 2**



**OUTBUILDING 4 - PROPOSED REAR ELEVATION**



**EXTERNAL FINISHES**

EXTERNAL WALLS - NATURAL STONE TO MATCH EXISTING  
- TIMBER CLADDING (WHERE INDICATED)

ROOF - NATURAL SLATE TO MATCH EXISTING

WINDOWS - TIMBER DOUBLE GLAZED - LIGHT IVORY (RAL 1015) OR SIMILAR  
- GREY ROOFLIGHTS (BY VELUX)

DOORS - COMPOSITE /TIMBER

RAINWATER GOODS - GREY UPVC (BY MARLEY OR SIMILAR)

FASCIA'S - PAINTED TIMBER - LIGHT IVORY (RAL 1015)OR SIMILAR

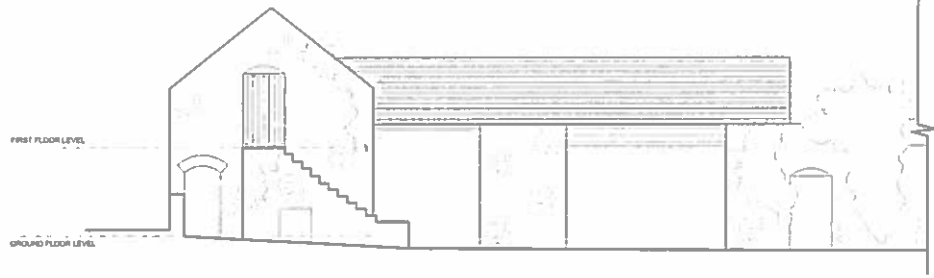
**Project** PROPOSED CONVERSION OF OUTBUILDINGS TO HOLIDAY LET  
**Address** NANT GWILYM, TREMERCHION, LL17 0UG  
**Client** MR WILLIAMS  
**Scale** SCALE 1.100 @A4

☎ Landline - 01824 702444  
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✉ info@tyarchitecture.co.uk

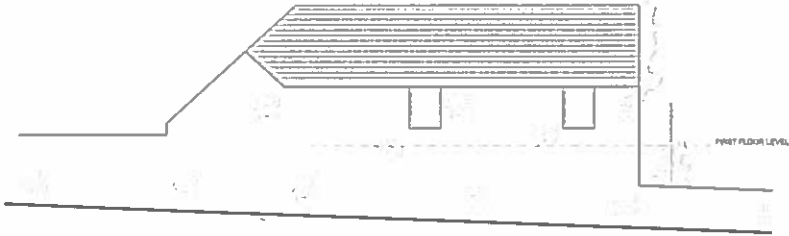
🏠 Ty Architecture Cyf  
15A Cwylid Street  
Ruthin  
Denbighshire  
LL15 1HF

Drawing:- TY/473/PL06A

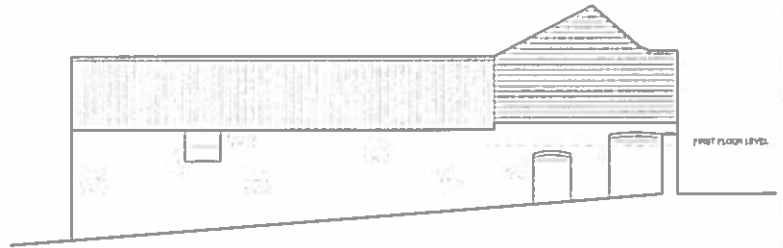




OUTBUILDING 1 - EXISTING SIDE ELEVATION - 1

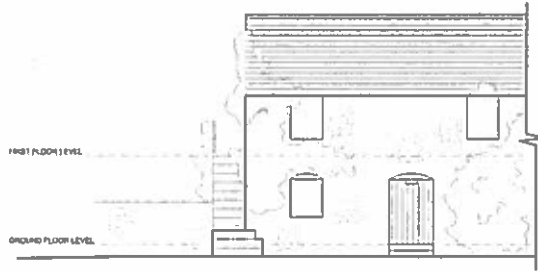


OUTBUILDING 1 - EXISTING REAR ELEVATION

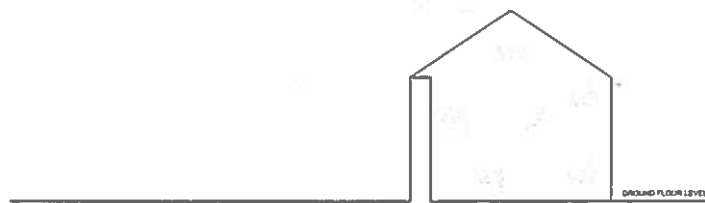


OUTBUILDING 1 - EXISTING SIDE ELEVATION - 2

Project PROPOSED CONVERSION OF OUTBUILDING TO HOLIDAY LET  
 Address NANT CHEW TY TREMORCHAL LL17 8JG  
 Client MR WJ WILLIAMS  
 Scale SCALE 1:100 @A3 Drawing: TY1706/001



OUTBUILDING 1 - EXISTING FRONT ELEVATION - 1



OUTBUILDING 1 - EXISTING FRONT ELEVATION - 2



Project PROPOSED CONVERSION OF OUTBUILDING TO HOLIDAY LET  
 Address NANT CHEW TY TREMORCHAL LL17 8JG  
 Client MR WILLIAMS  
 Scale SCALE 1:100 @A3 Drawing: TY1706/001





**WARD :** Tremeirchion

**WARD MEMBER:** Councillor Christine Marston (C)

**APPLICATION NO:** 41/2019/0089/ PF

**PROPOSAL:** Conversion of outbuildings to form 4 no. holiday let accommodation units, erection of bat loft, installation of a septic tank, alterations to existing vehicular access arrangements and associated works

**LOCATION:** Outbuildings at Nant Gwilym Farm Tremeirchion St Asaph LL17 0UG

**APPLICANT:** Ms & Mr N & D Donohoe & Williams

**CONSTRAINTS:** PROW

**PUBLICITY UNDERTAKEN:** Site Notice - Yes  
Press Notice - No  
Neighbour letters - Yes

**REASON(S) APPLICATION REPORTED TO COMMITTEE:**

**Scheme of Delegation Part 2**

- Recommendation to grant / approve – Town / Community Council objection

**CONSULTATION RESPONSES:**

**BODFARI COMMUNITY COUNCIL**

“Bodfari Community Council recommend refusal on the grounds of access. Referring to the Planning Support Statement supplied:

5.31 We disagree that the access provides an adequate level of visibility onto the highway and believe that the proposal underestimates the current level of movements on this stretch of road.

5.32 We disagree that change of use from agricultural to holiday lets would reduce the level of traffic movements, and would in fact greatly increase them.

5.33 We disagree that the highway at this point has sufficient capacity to accommodate the vehicle movements generated by the proposal, and believe that the proposal would adversely affect safety.

5.34 The proposal therefore does not comply with Chapter 4 of PPW and Policy RD1 as the proposed access arrangements are unsuitable for the nature of the site and the road serving it.

5.35 We disagree that the proposal provides adequate parking, and believe that the parking requirement has been underestimated.

There are also concerns regarding an increase in light pollution in a designated ‘Dark Skies’ area.”

**CLWYDIAN RANGE AND DEE VALLEY AREA OF OUTSTANDING NATURAL BEAUTY  
JOINT ADVISORY COMMITTEE**

“Although just outside the AONB, Nant Gwilym Farm is an attractive group of traditional stone buildings which contribute to the character and appearance of the protected landscape.

Subject to the planning authority being satisfied that the structural condition of the buildings is suitable for conversion and the County Ecologist is content with the bat mitigation proposals, the Joint Committee has no objection to this sensitively designed scheme to conserve these disused and dilapidated buildings by bringing them back into a productive use which will benefit tourism in the AONB.

The committee would recommend that all roof lights should be conservation style units and favours a natural, weathered finish for the timber cladding. No details of external lighting have been provided, but a condition should be attached requiring details to be submitted to ensure it is carefully designed to conserve the AONB’s dark sky.”

## NATURAL RESOURCES WALES

No objection, but comment on detailed matters as below:

### European Protected Species

As this is a lower risk case for bats, NRW consider the development is not likely to be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in its natural range.

All avoidance and mitigation measures described in the ecology report must be undertaken.

### Designated Landscapes

The site is immediately adjacent to the Clwydian Range and Dee Valley AONB.

NRW have no in-principle issue with the proposal, as it largely maintains the rural character of the lane and the western edge of the AONB, however advice is offered on where the proposal could be improved:

- Suspect that highway sightline requirements to the south-east of the site entrance cannot be met due to restricted views caused by the roadside stone barn.
- The extent of parked cars and hard paving within the courtyard would be particularly apparent as people pass the site. Retaining a 2m wide strip of lawn or planted edge along the northern stone wall enclosure to the courtyard, with a gap for the entrance to Nant Gwilym farmhouse, would help to retain some rural qualities within the site. A minor adjustment to the layout plan and the location of the soakaway would be required to incorporate this before the plan is approved.
- Fastigate birch or fastigate yew trees could be planted either side of the main entrance to help close view lines into the site – this could be shown simply on the layout plan (minor adjustment to the location of one manhole cover) with implementation made a condition of any approval.
- Bin stores need to be planned for, to avoid visual clutter to the side of the road or within the courtyard area.

## CLWYD POWYS ARCHAEOLOGICAL TRUST

Information held within the regional Historic Environment Record indicates the proposals will affect 19th century stone barn buildings that are not recorded within the Historic Environment Record. The buildings retain elements of their original layout with internal and external features that are of local architectural significance.

Recommend a Photographic Survey is carried out prior to commencement of works in order to preserve a record of this building, to be secured by a pre-commencement condition.

## DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

### Highways Officer:

Notes that the existing access will be improved as part of the proposals. Although the visibility splays do not meet standards laid out in TAN 18, consideration has been given to the existing use as a farm and the likely vehicle movements associated with this operation in addition to the low traffic volumes on the highway, and therefore it is not considered there are any highway safety related issues arising from the development. Has no objection to the proposals.

### Footpaths Officer:

Public Footpath 28 (Bodfari Community) abuts the planning area, and needs to be safeguarded. Suggests addition of notes to applicant.

### Pollution Protection Officer:

Following confirmation that the proposal would connect to mains, has no further comments to make.

### Ecologist:

No response received at the time of writing the report.

**RESPONSE TO PUBLICITY:** No public representations received at time of drafting report

**EXPIRY DATE OF APPLICATION:** 08/04/2019

**REASONS FOR DELAY IN DECISION (where applicable):**

- awaiting consideration by Committee

**PLANNING ASSESSMENT:**

**1. THE PROPOSAL:**

1.1 Summary of proposals

- 1.1.1 The proposal is for the conversion of traditional stone agricultural outbuildings to four holiday let units, alterations to the vehicular access and associated development, as shown on the plans at the front of the report.
- 1.1.2 Accommodation would be arranged as follows:
  - 1.1.2.1.1. Outbuilding 1 is proposed to be converted to a two storey two bed unit;
  - 1.1.2.1.2. Outbuilding 2 is proposed to be converted to single storey one bed unit;
  - 1.1.2.1.3. Outbuilding 3 is proposed to be converted to a two storey one bed unit;
  - 1.1.2.1.4. Outbuilding 4 is proposed to be converted to a split level one bed unit.
- 1.1.3 No extensions are proposed as part of the conversion scheme. Existing window and door openings are proposed to be retained and in some cases altered. Existing voids providing access to the outbuildings are proposed to be filled with timber clad walls within new doors and window openings. Roof lights are proposed to both roof pitches to outbuildings 1 – 3.
- 1.1.4 External walls are in natural stone, with timber cladding to new elevational sections. The pitched roofs are in natural slate.
- 1.1.5 The plans state windows would be timber framed double glazed units to be finished in light ivory and roof lights would be grey Velux rooflights. Fascias would be painted timber and rainwater goods would be grey uPVC.
- 1.1.6 The existing farm access is proposed to be utilised to serve the development, and alterations are proposed to improve visibility splays at the point of entry onto the road in either direction by the repositioning of the stone boundary wall close to the access.
- 1.1.7 Seven parking spaces are proposed within the central courtyard.
- 1.1.8 It is proposed that foul water is discharged to a new private treatment plant and surface water drainage would discharge to a soakaway.
- 1.1.9 A wooden bat loft is proposed within the development site as a mitigation measure.
- 1.1.10 The application is supported by a Bat and Nesting Bird Report, a Structural Inspection Report, percolation test results and soakaway details, and details of the proposed private treatment plant.

1.2 Description of site and surroundings

- 1.2.1 The site is located in an open countryside location along the B5429 between Bodfari and Tremeirchion.
- 1.2.2 It is occupied by a group of traditional stone agricultural outbuildings arranged around a central courtyard, which are adjacent to the residential curtilage of the Nant Gwilym dwelling.
- 1.2.3 There is an existing farm access serving the site off the public highway.

1.3 Relevant planning constraints/considerations

- 1.3.1 The site is outside of any development boundary defined in the Local Development Plan

1.3.2 The site is immediately adjacent to, but outside the boundary of the Clwydian Range and Dee Valley Area of Outstanding Natural Beauty (AONB).

1.3.3 The site is within the Vale of Clwyd Historic Landscape.

1.3.4 A Public Right of Way runs through the application site.

**1.4 Relevant planning history**

1.4.1 Planning permission was granted in 2018 for extensions and alterations to the Nant Gwilym dwelling.

**1.5 Developments/changes since the original submission**

1.5.1 The agent has confirmed the development has a connection to the mains water supply, and therefore a private water supply is not required.

**1.6 Other relevant background information**

1.6.1 There is a cabin / chalet in situ at the site which appears to be located within the residential curtilage of the dwelling. Officers understand this is temporary accommodation which is being used for residential purposes whilst the consented works are undertaken to the dwelling.

**2. DETAILS OF PLANNING HISTORY:**

2.1 41/2018/0943. Erection of extensions and alterations to dwelling. Granted 04/12/2018.

**3. RELEVANT POLICIES AND GUIDANCE:**

The main planning policies and guidance are considered to be:

**3.1 Denbighshire Local Development Plan (adopted 4<sup>th</sup> June 2013)**

Policy PSE4 – Re-use and adaptation of rural buildings in open countryside

Policy PSE5 – Rural economy

Policy VOE1 - Key areas of importance

Policy VOE2 – Area of Outstanding Natural Beauty and Area of Outstanding Beauty

Policy VOE5 – Conservation of natural resources

Policy VOE6 – Water management

Policy ASA3 – Parking standards

**3.2 Supplementary Planning Guidance**

Supplementary Planning Guidance Note: Clwydian Range and Dee Valley Area of Outstanding Natural Beauty

Supplementary Planning Guidance Note: Conservation and Enhancement of Biodiversity

Supplementary Planning Guidance Note: Parking Requirements In New Developments

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Space Standards

Supplementary Planning Guidance Note: Re-use and adaptation of rural buildings

Supplementary Planning Guidance Note: Trees & Landscaping

**3.3 Government Policy / Guidance**

Planning Policy Wales (Edition 10) December 2018

Development Control Manual November 2016

Technical Advice Note (TAN) 5: Nature conservation and planning

Technical Advice Note (TAN) 6: Planning for sustainable rural communities

Technical Advice Note (TAN) 12: Design

Technical Advice Note (TAN) 18: Transport

Technical Advice Noe (TAN) 24: The Historic Environment

**3.4 Other material considerations**

**4. MAIN PLANNING CONSIDERATIONS:**



In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned. The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

- 4.1.1 Principle
- 4.1.2 Visual amenity and landscape character / Impact on the AONB
- 4.1.3 Residential amenity
- 4.1.4 Ecology
- 4.1.5 Drainage
- 4.1.6 Highways (including access and parking)
- 4.1.7 Historic Environment

4.2 In relation to the main planning considerations:

- 4.2.1 Principle  
LDP Policy PSE 4 "Re-use and adaptation of rural buildings in open countryside" allows for conversions where the scheme makes a positive contribution to the landscape, any architectural features of merit are retained. In relation to residential conversions, the policy requires that it is demonstrated that an employment use is not viable, and the resulting dwelling is affordable for local needs. It is considered that a proposal of this nature would be acceptable in principle subject to assessment of its impacts and compliance with the relevant criteria of Policy PSE 4.

Policy PSE 5 reflects the general intent of the Local Development Plan to help sustain the rural economy, through the support of tourism and commercial development, including new build development, subject to meeting detailed criteria relating to the character and distinctive qualities of the local landscape.

The Re-use and adaptation of rural buildings SPG amplifies LDP Policy PSE4 and at 6.1 states 'The Council would consider conversion to holiday accommodation or tourist facilities as an economic use.'

The application is supported by a Structural Inspection Report which confirms the buildings are structurally sound and capable of conversion.

The proposal to convert the buildings to holiday let accommodation is therefore considered to be acceptable in principle under policy PSE4 and PSE5. The use would need to be restricted to holiday lets in this instance as it is unlikely that a proposal to create four residential units would meet basic residential amenity and space standard tests, including a need to provide appropriate private amenity space.

- 4.2.2 Visual amenity and landscape character / Impact on AONB  
The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the

neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The visual amenity and landscape impacts of development should therefore be regarded as a potential material consideration.

Policy VOE 2 requires assessment of the impact of development within or affecting the AONB and AOB, and indicates that this should be resisted where it would cause unacceptable harm to the character and appearance of the landscape and the reasons for designation.

The AONB Committee has raised no objection to the proposal and considers the proposal to be a sensitive conversion scheme, but has noted control should be applied to the finish of timber cladding proposed and to external lighting to ensure it is carefully designed to conserve the AONB's dark sky.

The Re-use and adaption of rural buildings SPG and the Clwydian Range and Dee Valley AONB SPG provide further guidance on design and detailing.

NRW have raised no objection to the proposal, however comments are provided in an advisory capacity on measures which could improve the scheme, including landscaping and additional planting which could be incorporated into the scheme.

No extensions are proposed to the outbuildings. Elevational changes are restricted to alterations to existing and some new window and doors. Existing voids are proposed to be filled in with new timber clad walls which allows the existing form of the building to be clearly read. The addition of new windows and doors are kept to a minimum, and proposed window and door detailing is considered to be sympathetic in design, proportions and materials.

Roof lights are proposed in the roof pitches of outbuildings 1 – 3. The addition of roof lights is not out of accord with the character of the building and conditions can be applied to ensure they are flush fitting with frames of a colour to match the slate roof.

Whilst NRW have provided comment on landscaping and planting which could be incorporated in to the scheme, they have not raised an objection on visual amenity or landscaping grounds, and Officers do not consider there is sufficient justification in this instance to require alterations to the layout or require additional landscaping to be incorporated into the scheme.

Officers consider conditions could be applied to control the detailing of the roof lights, finish of the timber cladding, external lighting and bin provision / amenity area.

Subject to necessary planning conditions being applied, Officers conclude the proposal would not adversely impact on visual amenity or landscape character.

#### 4.2.3 Residential amenity

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The residential amenity impacts of development should therefore be regarded as a potential material consideration.

No representations have been received raising concerns on residential amenity grounds.

The proposed holiday let units would just exceed the Council's internal floor space standards as set out in the Residential Space Standards SPG, however there is no dedicated outdoor space for each of the individual units.

The proposed units would also be close to the two agricultural buildings which are proposed to be retained, which could potentially cause noise and disturbance.

However, the proposal is not to convert the outbuildings into residential dwelling houses, but rather to convert the outbuildings into a small complex of holiday let accommodation, and accordingly it is not considered necessary to require the same level of amenity as a residential conversion.

An acceptable setback would be maintained between the proposed holiday let units and the existing dwelling and the neighbouring property, and therefore the proposal would not adversely impact on amenity of residential properties.

In conclusion, whilst the proposed holiday units would not provide the levels of privacy and amenity required for a residential conversion, this would not preclude a holiday accommodation use. Planning conditions can be applied to restrict the use and occupancy of the units to ensure they are not used as units of residential accommodation on amenity grounds. On this basis, Officers conclude the proposal would not unacceptably impact on existing residential amenity, and adequate standards of amenity could be achieved for occupiers of holiday let units..

#### 4.2.4 Ecology

Policy VOE 5 requires due assessment of potential impacts on protected species or designated sites of nature conservation, including mitigation proposals, and suggests that permission should not be granted where proposals are likely to cause significant harm to such interests.

This reflects policy and guidance in Planning Policy Wales (PPW 10) (Section 5.2), TAN 5 and the Conservation and Enhancement of Biodiversity SPG (2016), which stress the importance of the planning system in meeting biodiversity objectives through promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.

Natural Resources Wales have raised no objection to the proposal, subject to conditions being applied to ensure all avoidance and mitigation measures described in the ecology report are undertaken.

The application is supported by a bat and bird report. In summary the bat activity detected was that of emerging bats from two of the buildings which are going to be affected by the proposals. Other activity was that of foraging and commuting bats. The foraging was observed to the rear of the buildings.

The bat and bird report confirms an EPS licence from NRW would be required for the scheme, and sets out avoidance and mitigation measures to be applied to protect the favourable conservation status of bats, which includes the provision of a bat loft on land adjacent to the outbuildings.

Officers consider planning conditions could be imposed to ensure the recommendations of the bat and bird survey are carried out in full, and subject to such conditions being applied, Officers would conclude the proposal would not adversely impact on the favourable conservation status of bats.

#### 4.2.5 Drainage

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The drainage and flood risk impacts of development should therefore be regarded as a potential material consideration.

A drainage plan has been provided which shows surface water would discharge to a new soakaway and foul drainage to discharge to a new private treatment plant.

Percolation test results have been provided to demonstrate ground conditions are suitable for soakaways and details have been provided regarding the general arrangement of the proposed soakaway and of the proposed private foul water drainage.

Given the location of the development, Officers are satisfied that a private treatment plant is acceptable in this location and sufficient details have been provided regarding the proposal means of surface water drainage. Accordingly, the proposed drainage details are considered to be acceptable.

#### 4.2.6 Highways (including access and parking)

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The highway impacts of development should therefore be regarded as a potential material consideration.

Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards. These policies reflect general principles set out in Planning Policy Wales (PPW) and TAN 18 – Transport, in support of sustainable development.

The Parking Standards in New Developments SPG sets out the maximum parking standards for new developments.

The Community Council have raised an objection to the proposal on highway / access grounds.

Highways Officers have acknowledged the proposed access arrangements would not meet the standards laid out in TAN18, however it is noted the existing farm access would be improved as part of the proposals, and having considered the former use of the site as a farm and the likely vehicle movements associated with the proposed development coupled with the low traffic volumes on the highway, Highways Officers have concluded there would not be any highway safety related issues arising from the development and accordingly have raised no objection to the proposals.

The site is occupied by redundant farm buildings and is served by an existing farm access off the public highway.

The section of the public highway which runs along the site is subject to the national speed limit, however having regard to the rural nature of the road, it is unlikely traffic would travel at 60mph along this section of the road, and actual speed limits are likely to be lower.

Highways Officers have advised traffic volumes on the public highway are low.

The proposal is for three one-bed units of accommodation and one two-bed unit of accommodation. Assuming a ratio of one vehicle per bedroom, Officers would estimate there would be a maximum of five vehicles moving to and from the proposed development at any given time.

A section of the existing boundary wall to the south of the access is proposed to be repositioned to improve visibility, however Officers note the recommended visibility

splays set out in TAN18 could not be achieved along views to the south in this case given that Outbuilding 1 abuts the highway and would therefore obstruct the sight line in this direction.

To the north, the existing stone boundary wall is proposed to be retained. Officers note the wall is a low level wall, and whilst there are trees along the boundary within the residential curtilage, Officers consider views to the north would not be unduly interrupted.

The site is served by an existing agricultural access and Officers consider the fallback position is of some relevance, as the buildings could be used again for agricultural purposes without the need for a planning application, and the typical vehicular movements associated with an agricultural use need to be taken into consideration.

Highways Officers have taken into account the existing agricultural use of the access, the low traffic volume on the public highway and the proposed improvements to the access, and have concluded that whilst the access arrangements would not meet the standards laid out in TAN18, the proposal would not result in any highway safety related issues and therefore have raised no objection to the proposal.

Notwithstanding the concerns raised by the Community Council, Officers consider significant weight should be given to the professional views of Highways Officers. Having regard to the fallback position, the nature and scale of the development proposed and the contextual considerations set out above, Officers do not consider the failure to fully comply with the visibility standards laid out in TAN18 alone is sufficient grounds to refuse the planning application on access and highway safety concerns.

The Parking Standards in New Developments SPG does not include a specific parking standard for self-contained holiday lets, however for hotels, one parking space is required per room, and for dwellings one parking space is required per bedroom. In this case, seven parking spaces are proposed to serve the four units, which would exceed the equivalent standards for hotels and dwellings, and accordingly Officers are satisfied the parking provision is sufficient.

Whilst respecting the views of the Community Council and acknowledging the proposed development would not meet the visibility standards laid out in Annex B of TAN18, having regard to professional views of Highway Officers, the presence of an existing agricultural access, the low traffic volumes along the public highway and the nature and scale of the proposed development, it is not adjudged the proposed access arrangements would result in a level of harm to highway safety to warrant a refusal of planning permission on these grounds. Officers however consider it would be prudent to impose a condition to require the improvements to the access to be completed before the development first comes into use.

#### 4.2.7 Historic Environment

Local Development Plan Policy VOE1 seeks to protect sites of built heritage from development which would adversely affect them, and requires that development proposals should maintain and wherever possible enhance them for their characteristics, local distinctiveness and value to local communities.

Planning Policy Wales (PPW 10), Section 6 and Section 4 of TAN 24 provide further guidance in relation to the historic environment.

CPAT have advised information held within the regional Historic Environment Record indicates the proposals will affect 19th century stone barn buildings that are not recorded within the Historic Environment Record, and note the buildings retain elements of their original layout with internal and external features that are of local architectural significance. To ensure a record of the building is preserved for the historic record, CPAT have requested a condition is imposed ensure a Photographic

Survey is carried out prior to commencement of works, which is in accordance with guidance in TAN24.

Subject to the imposition of a necessary condition, Officers are satisfied the proposal would not have a detrimental impact on the historic environment.

#### Other matters

##### Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

## **5. SUMMARY AND CONCLUSIONS:**

5.1 The proposal is for the conversion of traditional agricultural buildings to a small complex of holiday let units, which Officers consider would represent an acceptable use, and therefore the principle of the proposal is in accordance with relevant policies.

5.2 Notwithstanding the concerns raised by the Community Council, having regard to the existing agricultural use of the vehicular access, the proposed improvements to the access, the low traffic volumes along the public highway and the views of the Council's Highways Officer, the proposal is not adjudged likely to give rise to an unacceptable impact on highway safety to warrant a reason for refusal on these grounds.

5.3 Subject to the imposition of necessary planning conditions, the proposal is considered to be acceptable and is recommended for grant.

### **RECOMMENDATION: GRANT-** subject to the following conditions:-

1. The development to which this permission relates shall be begun no later than 17th April 2024.
2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission
  - (i) Existing Site Plan (Drawing No. SU01) - Received 31 January 2019
  - (ii) Existing Floor Plans (Drawing No. SU02) - Received
  - (iii) Existing Elevations (Drawing No. SU06) - Received 31 January 2019
  - (iv) Existing Elevations (Drawing No. SU05) - Received 12 February 2019
  - (v) Existing Elevations (Drawing No. SU04) - Received 31 January 2019
  - (vi) Existing Sections (Drawing No. SU03) - Received 31 January 2019
  - (vii) Proposed Drainage Plan - Received 31 January 2019
  - (viii) Proposed Site Plan (Drawing No. PL01A) - Received 12 February 2019
  - (ix) Proposed Floor Plans (Drawing No. PL02A) - Received 12 February 2019
  - (x) Proposed Elevations (Drawing No. PL04A) - Received 12 February 2019
  - (xi) Proposed Elevations and Sections (Drawing No. PL03) - Received 12 February 2019
  - (xii) Proposed Floor Plans and Elevations (Drawing No. PL05A) - Received 12 February 2019
  - (xiii) Proposed Elevations (Drawing No. PL06A) - Received 12 February 2019
  - (xiv) Proposed Bat Loft Floor Plans and Elevations (Drawing No. PL07) - Received 12 February 2019
  - (xv) Location Plan (Drawing No. SU01B) - Received 12 February 2019

- (xvi) Bat and Nesting Bird Report - Received 31 January 2019
  - (xvii) Blanket Soakaway Section & Calcs (Two Drawings) - Received 31 January 2019
  - (xviii) Percolation Tests (Four Drawings - TP1-TP4) - Received 31 January 2019
  - (xix) Planning Support Statement - Received 31 January 2019
  - (xx) Structural Report (Two Drawings - OB1 & OB2) - Received 31 January 2019
  - (xxi) Product Specification - BioDisc - Received 12 February 2019
3. The use of the buildings shall be restricted to holiday accommodation only and the buildings shall not be occupied as a person's sole or main place of residence at any time. An up to date register shall be kept at the holiday accommodation hereby permitted and be made available for inspection by the Local Planning Authority upon request. The register shall contain details of the names of all of the occupiers of the accommodation, their main home addresses and their date of arrival and departure from the accommodation.
  4. Notwithstanding the provisions of all Classes of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification) no development permitted by the said Classes shall be carried out unless otherwise approved in writing by the Local Planning Authority.
  5. The development hereby approved shall be carried out in strict accordance with the swallow enhancement measures and the bat mitigation measures, including the outline method statement (bats), set out in Section 4 of the approved ecological assessment (Bat and Nesting Bird Report carried out by P J Ecological Solutions dated July 2018).
  6. The alterations to the vehicular access shown on the approved proposed site plan shall be completed prior to the first occupation of any of the holiday accommodation units hereby approved.
  7. **PRE-COMMENCEMENT CONDITION**  
Development shall not begin until an appropriate Photographic Survey of the existing buildings on site has been carried out, and the survey details, plans and resulting digital photographs have been submitted to and approved in writing by the Local Planning Authority.
  8. No external lighting shall be installed without the formal written approval of the Local Planning Authority to the detailing of the proposed lighting, and details approved shall be implemented and retained at all times unless otherwise agreed in writing by the Local Planning Authority.
  9. The timber cladding to be applied to the external walls of the development hereby approved shall have a natural weathered finish.
  10. Notwithstanding the approved details, the roof lights hereby approved shall be flush fitting and the frames shall be black or dark grey in colour so as to match the colour of the existing slate roof.
  11. Prior to the first occupation of any of the holiday accommodation units hereby permitted, details of litter bins and amenity areas to serve the development shall be submitted to and approved in writing by the Local Planning Authority and the details approved shall be implemented and retained at all times unless otherwise agreed in writing by the Local Planning Authority

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.
3. For the avoidance of doubt and in the interests of residential and visual amenity and rural restraint policies.
4. In the interest of residential amenity and in order for the Council to retain control over the use of the building.
5. In the interests of nature conservation and to preserve the favourable conservation status of protected bat species.
6. In the interests of highway safety.
7. In the interests of investigation and recording of historical buildings for the Historic Record.
8. In the interests of visual amenity and AONB landscape character.
9. In the interests of visual amenity.
10. In the interests of visual amenity.

11. In the interest of visual and residential amenity



# Agenda Item 6

**WARD :** Prestatyn East

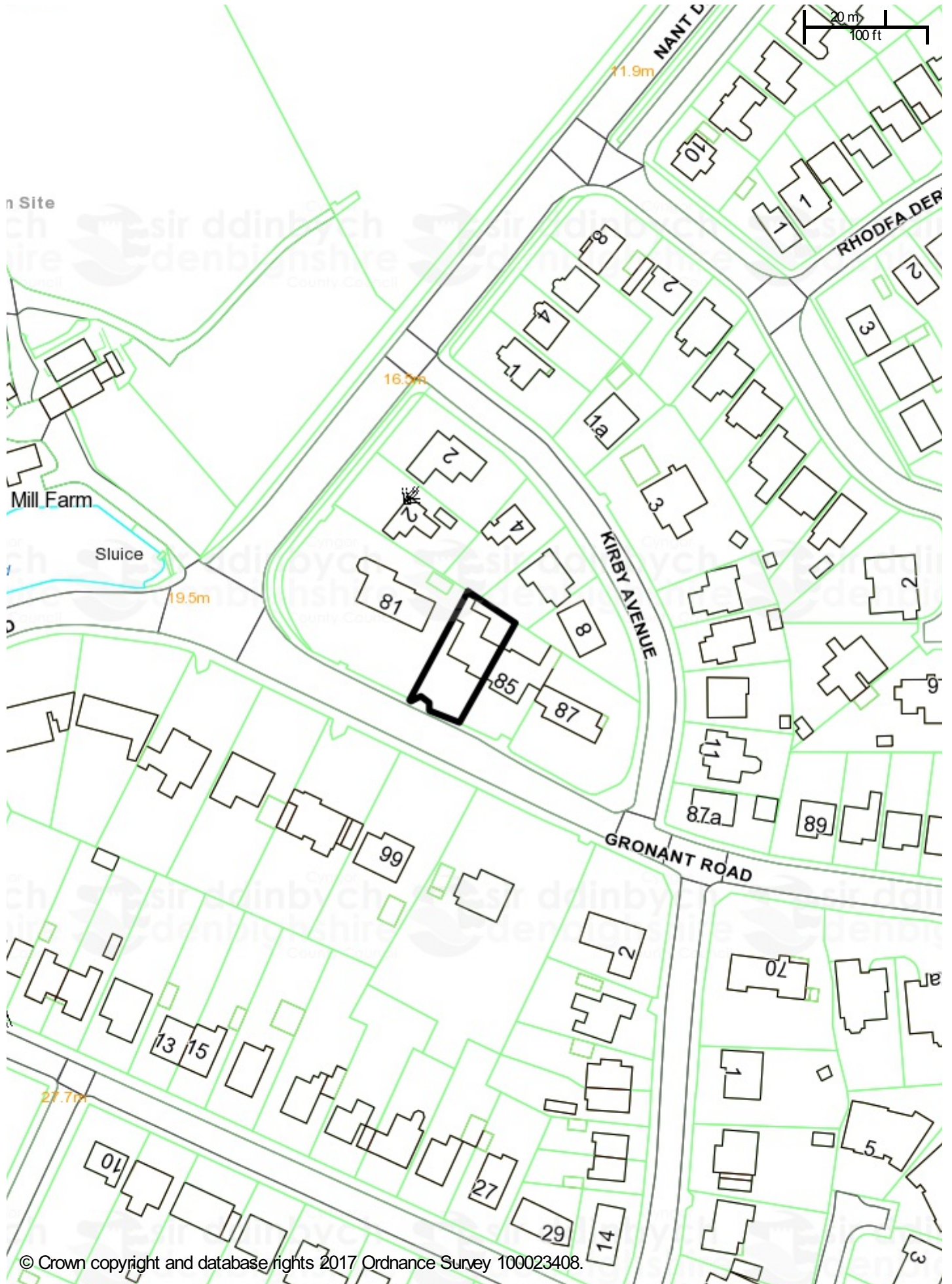
**WARD MEMBERS:** Cllr Anton Sampson  
Cllr Julian Thompson-Hill (c)

**APPLICATION NO:** 43/2019/0112/ PF

**PROPOSAL:** Erection of a replacement dwelling and associated works

**LOCATION:** 83 Gronant Road Prestatyn LL19 9NA

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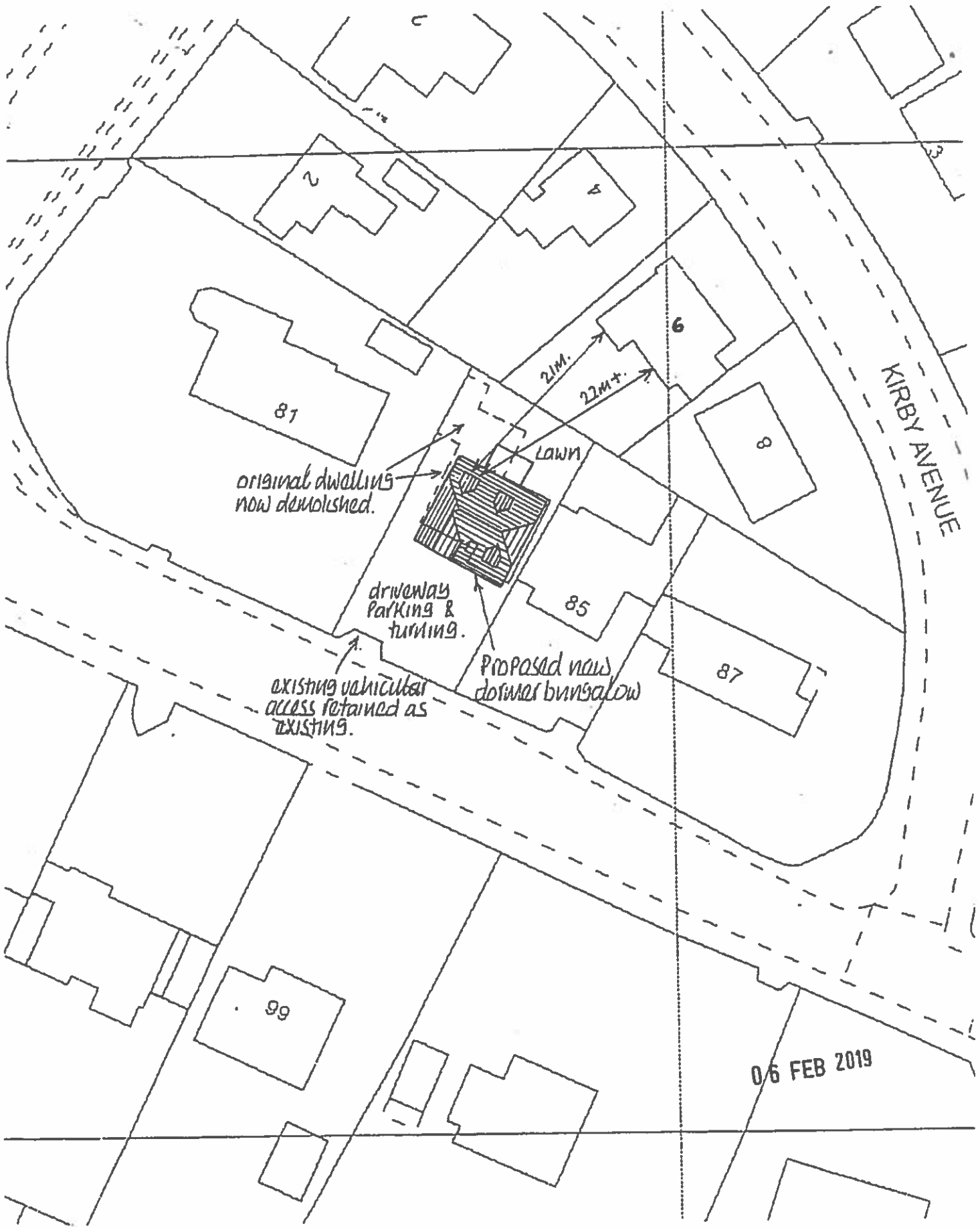
43/2019/0112

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PROPOSED SITE PLAN



83 Gronant Rd ~ Proposed Site Plan ~ 1:500 ~ DG 2



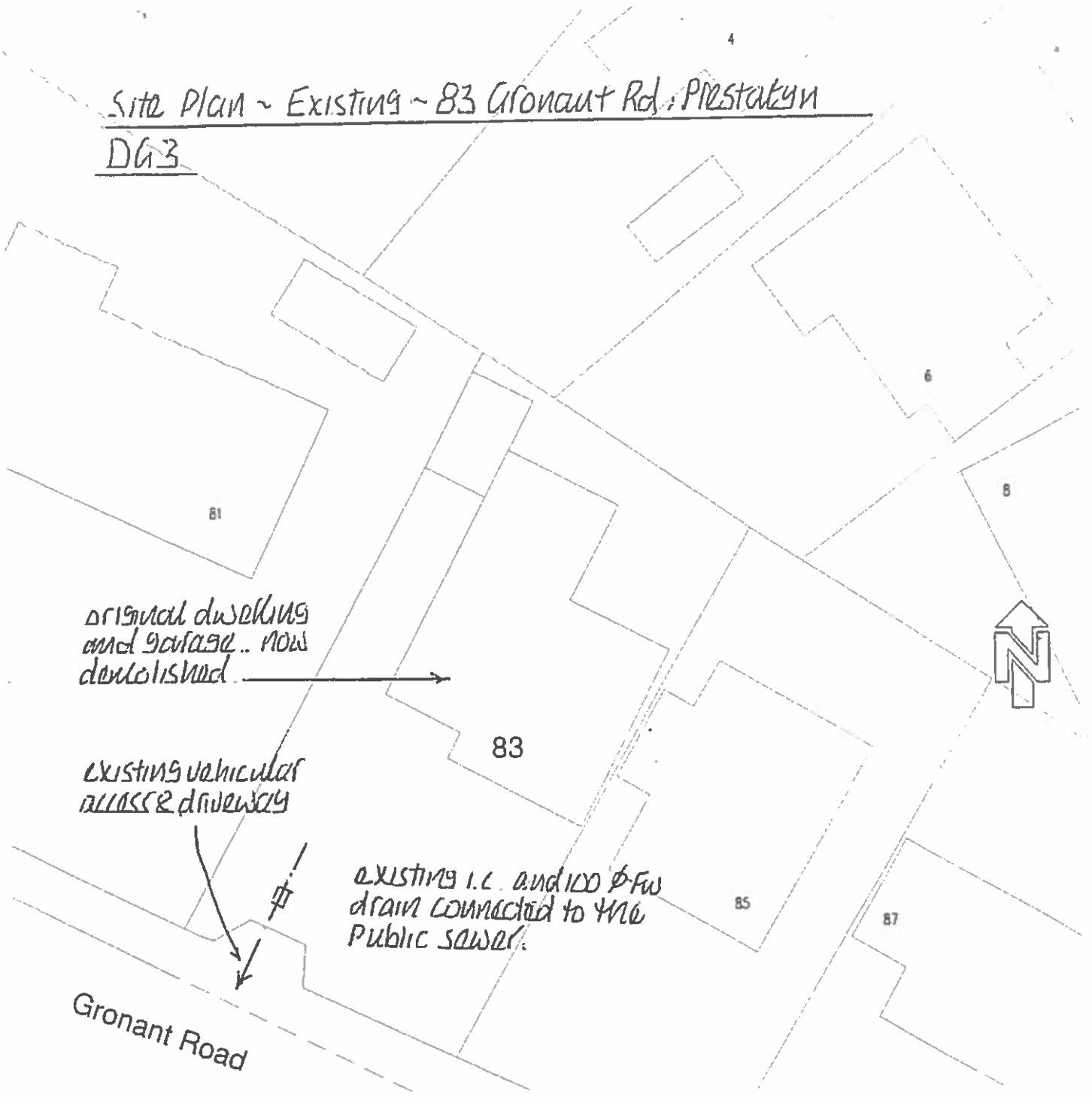






Site Plan ~ Existing ~ 83 Gronant Rd, Prestatyn

DG3



06 FEB 2019



**WARD :** Prestatyn East

**WARD MEMBERS:** Cllr Anton Sampson  
Cllr Julian Thompson-Hill (c)

**APPLICATION NO:** 43/2019/0112/ PF

**PROPOSAL:** Erection of a replacement dwelling and associated works

**LOCATION:** 83 Gronant Road Prestatyn LL19 9NA

**APPLICANT:** Mrs Jean Dix-Dyer

**CONSTRAINTS:** Article 4 Direction

**PUBLICITY UNDERTAKEN:** Site Notice - No  
Press Notice - No  
Neighbour letters - Yes

**REASON(S) APPLICATION REPORTED TO COMMITTEE:**  
**Scheme of Delegation Part 2**

- Member request for referral to Committee

**CONSULTATION RESPONSES:**

PRESTATYN TOWN COUNCIL

"Observation, An objection to the application has been lodged with concerns regarding being overlooked"

DWR CYMRU / WELSH WATER

No objection.

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

Highways Officer

No objection.

**RESPONSE TO PUBLICITY:**

In objection

Representations received from:

Susan Davies, 6, Kirby Avenue, Prestatyn (O)

Summary of planning based representations in objection:

Amenity considerations- loss of privacy and overlooking from dormers to dwelling at the rear.

**EXPIRY DATE OF APPLICATION: 02/04/2019**

**EXTENSION OF TIME AGREED? 18/04/2019**

**REASONS FOR DELAY IN DECISION (where applicable):**

- awaiting consideration by Committee

**PLANNING ASSESSMENT:**

**1. THE PROPOSAL:**

## 1.1 Summary of proposals

- 1.1.1 The application proposes the erection of a replacement dwelling at 83 Gronant Road in Prestatyn. The proposed dwelling would replace one it is understood was demolished in September 2018, following structural problems encountered in the course of extending and altering the bungalow which had been on the site for many years.
- 1.1.2 A four bedroom, 2 storey hipped roof dormer style dwelling is proposed. It would have a glazed feature gable to the front, and would occupy a footprint of roughly 100 sq metres. Materials proposed are render, brick and Marley slate effect tiles.
- 1.1.3 The proposed dwelling would be sited centrally on the plot with 3 parking spaces and a turning area to the front, and a private garden to the rear. Circulation space is proposed around all sides.
- 1.1.4 The plans illustrating the proposals are included at the front of the report.

## 1.2 Description of site and surroundings

- 1.2.1 Located on the northern side of Gronant Road. No.83 lies within a residential area comprised of a mixture of ages and styles of detached dwellings with a house to one side and a dormer bungalow to the other. There are bungalows and dormer bungalows of differing styles, heights and ages to the rear.
- 1.2.2 The site is currently cleared of all buildings, however the long established boundary features remain. The rear curtilage is bounded by wood panel fencing of around 2 metres in height, which runs around most of the boundary with No 81. The boundary with No 85 is defined by a mix of fencing, the wall of a flat roof garage, and a 2m high hedge. The road frontage is defined by a partly rendered wall with hedgerow behind.

## 1.3 Relevant planning constraints/considerations

- 1.3.1 The site is located within the development boundary in an area without any other specific designation in the Local Development Plan.

## 1.4 Relevant planning history

- 1.4.1 Planning permission was granted for alterations and extensions to the previous dwelling in 2016. These included:
  - 1) Increased height of the current bungalow from 5.0 metres up to 6.2 metres to allow for roof space accommodation in the form of two bedrooms and two bathrooms with light provided by two pitched roof dormers at the front and five roof lights in the rear roof slope.
  - 2) First floor extension above an existing flat-roofed rear projection to lead out from the new main roof to provide a study area, with a hipped roof over and two roof lights in each side roof plane.
  - 3) Single-storey flat-roofed extension at the rear of the property to accommodate a workshop adjacent to the side of the existing garage, with a footprint of 5.3 metres by 2.7 metres with a window and a door facing the garden for the dwelling.

## 1.5 Developments/changes since the original submission

- 1.5.1 None.

## 1.6 Other relevant background information

- 1.6.1 In support of the application the Agent has advised that when the previous extension was being built when the roof was removed the walls became unstable. As a result the remainder of the house was demolished. The replacement has been designed to sit better on the site and allow for better separation between neighbouring properties. It is suggested this would also be a more modern and efficient dwelling.

1.6.2 Councillor Julian Thomson Hill has requested the application be considered at Committee on the grounds of potential for a negative impact on amenity for the neighbours.

## 2. DETAILS OF PLANNING HISTORY:

2.1 43/2016/0294 Erection of extension to rear and alterations to roof to provide living accommodation. GRANTED under delegated powers 11/05/2016

## 3. RELEVANT POLICIES AND GUIDANCE:

The main planning policies and guidance are considered to be:

3.1 Denbighshire Local Development Plan (adopted 4<sup>th</sup> June 2013)

**Policy RD1** – Sustainable development and good standard design

**Policy BSC1** – Growth Strategy for Denbighshire

**Policy BSC3** – Securing infrastructure contributions from Development

**Policy BSC11** – Recreation and open space

**Policy ASA3** – Parking standards

### **Supplementary Planning Guidance**

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Development Design Guide

Supplementary Planning Guidance Note: Residential Space Standards

### 3.2 Government Policy / Guidance

Planning Policy Wales (Edition 10) December 2018

Development Control Manual November 2016

### 3.3 Other material considerations

## 4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned.

The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

4.1.1 Principle

4.1.2 Visual amenity

4.1.3 Residential amenity

4.1.4 Drainage (including flooding)

4.1.5 Highways (including access and parking)

4.1.6 Open Space

4.2 In relation to the main planning considerations:

#### 4.2.1 Principle

The main policy in the Local Development Plan which is relevant to the principle of housing development in towns and villages is BSC1, which seeks to make provision for new housing in a range of locations, concentrating development within identified development boundaries.

Policy RD1 states that development proposals within development boundaries will be supported subject to compliance with detailed criteria.

As the site is within the development boundary of Prestatyn as defined in the Local Development Plan, the principle of the development proposed would be acceptable in terms of BSC1. Furthermore the application proposes a 'one for one' replacement of a dwelling demolished as recently as September 2018. It is therefore considered the determination of the application should therefore rest on assessment of the local impacts of the proposal, which are reviewed in the following sections of the report.

#### 4.2.2 Visual amenity

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

The Development Management Manual advises at paragraph 9.4.3 as to what can be considered a material consideration, and states that the effects of a development on the neighbourhood and environment can be a material consideration. It is therefore considered that the impact of a proposal on the visual amenity of an area is a standard material consideration.

No objections have been received to the application based on the visual amenity impacts of the proposed dwelling.

The plans show a dwelling with design characteristics common to this area, including use of render and brick on the walls, hipped / clipped roofs with dormer windows, and grey concrete tiles. In Officers' opinion this approach is acceptable in visual terms.

#### 4.2.3 Residential amenity

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which touch on the potential for impact on residential amenity; test (vi) sets the requirement to assess the impact of development on the amenities of local residents, other land and property users, or characteristics of the locality, in terms of increased activity, disturbance, noise, dust, fumes, litter, drainage, light pollution, etc..

Planning Policy Wales 3.1.4 confirms that factors to be taken into account in making planning decisions (material considerations) must be planning matters; that is, they must be relevant to the regulation of the development and use of land in the public interest, towards the goal of sustainability. The residential amenity impacts of a development proposal are a material consideration.

The Development Management Manual advises at paragraph 9.4.3 as to what can be considered a material consideration, and states that the effects of a development on the neighbourhood and environment can be a material consideration. It is therefore considered that the impact of a proposal on the visual amenity of an area is a standard material consideration.

There is one private individual objection expressing concerns over the residential amenity impacts of the proposals, in terms of loss of privacy and overlooking to a property on Kirby Avenue from first floor dormers at the rear of the proposed dwelling. This appears to be the comment referred to by the Town Council in their response.

Having regard to the proposed plans, it would appear the only potential for overlooking and loss of privacy is from one of the first floor dormer windows on the rear of the proposed dwelling, serving bedroom 3. The other dormer window at the rear of the proposed dwelling is proposed to serve a bathroom, and would have obscure glazing.

In respect of the bedroom 3 window, members are referred to the 1:500 scale site plan at the front of the report, which annotates the respective distances of this first floor window to the rear walls of the objector's property at No.6 Kirby Avenue. The distances to a small projecting wall and the main rear wall of No.6 are 21 metres and 22 metres respectively. In noting the concerns of the neighbour, this meets the 21 metres minimum dimension suggested in Section 6.4 of the Residential Development Supplementary Planning Guidance for 'back to back' distances between main room windows of properties facing one another. In terms of overlooking the adjacent garden area, the bedroom window is shown at a 'minimum' of 9 metres from the boundary; the recommended minimum distance in the Supplementary Planning Guidance is 7.5 metres.

Consequently, in respecting the concerns expressed, Officers would suggest the proposals meet the recommended minimum distances in the Supplementary Guidance and that there is no reasonable basis for refusal based on residential amenity impacts in this instance.

#### 4.2.4 Drainage (including flooding)

Local Development Plan Policy RD 1 test (xi) requires that development satisfies physical or natural environmental considerations relating to drainage and liability to flooding.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. Drainage and liability to flooding should therefore be regarded as potential material considerations.

There are no adverse representations raising drainage concerns. Dwr Cymru Welsh Water have no objections to the proposals.

#### 4.2.5 Highways (including access and parking)

Local Development Plan Policy RD 1 supports development proposals subject to meeting tests (vii) and (viii) which oblige provision of safe and convenient access for a range of users, together with adequate parking, services and manoeuvring space; and require consideration of the impact of development on the local highway network. Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards.

These policies reflect general principles set out in Planning Policy Wales (PPW 10) and TAN 18 – Transport, in support of sustainable development.

Planning Policy Wales (PPW 10) confirms that factors to be taken into account in making planning decisions (material considerations) must be planning matters; that is,

they must be relevant to the regulation of the development and use of land in the public interest, towards the goal of sustainability. The highway impacts of a development proposal are a material consideration.

There are no highway concerns voiced over the application. The Highway Officer has no objections.

The main access onto Gronant Road is long established. The proposals are to retain it in substantially the same location of the road frontage, and raise no new highway issues.

#### 4.2.6 Open Space

Policy BSC 3 of the local development plan sets the basic requirement for development to contribute, where relevant, to the provision of infrastructure, including recreation and open space, in accordance with Policy BSC 11.

Policy BSC 11 specifies that all new housing developments should make adequate provision for recreation and open space. All such schemes put increased demand on existing open spaces and facilities and therefore the policy applies to all developments including single dwellings.

In this instance a replacement dwelling is proposed therefore there would be no additional burden on open space provision. As such it would not be reasonable to require an open space contribution.

#### Other matters

##### Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

## **5. SUMMARY AND CONCLUSIONS:**

5.1 The proposal is to erect a dwelling on the site of one demolished in the last year, following problems encountered during extension and alteration works on a long established dwelling there.

5.2 The site is within the town boundary and there are no 'in principle' issues involved in the development.

5.3 In respecting comments raised in relation to potential overlooking and loss of privacy, Officers are satisfied that the development can achieve the minimum distances set out in the Council's Supplementary Planning Guidance.

5.4 The proposals are therefore recommended for grant.

**RECOMMENDATION: GRANT-** subject to the following conditions:-



1. The development to which this permission relates shall be begun no later than 17th April 2024
2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission:
  - (i) Proposed plans, elevations and site plan (Drawing No. 1 Rev. A) received 18 February 2019
  - (ii) Existing site plan (Drawing No. 3) received 6 February 2019
  - (iii) Proposed site plan (Drawing No. 2) received 6 February 2019
  - (iv) Location plan received 6 February 2019

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.

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# Agenda Item 7

**WARD :** Llanbedr Dyffryn Clwyd / Llangynhafal

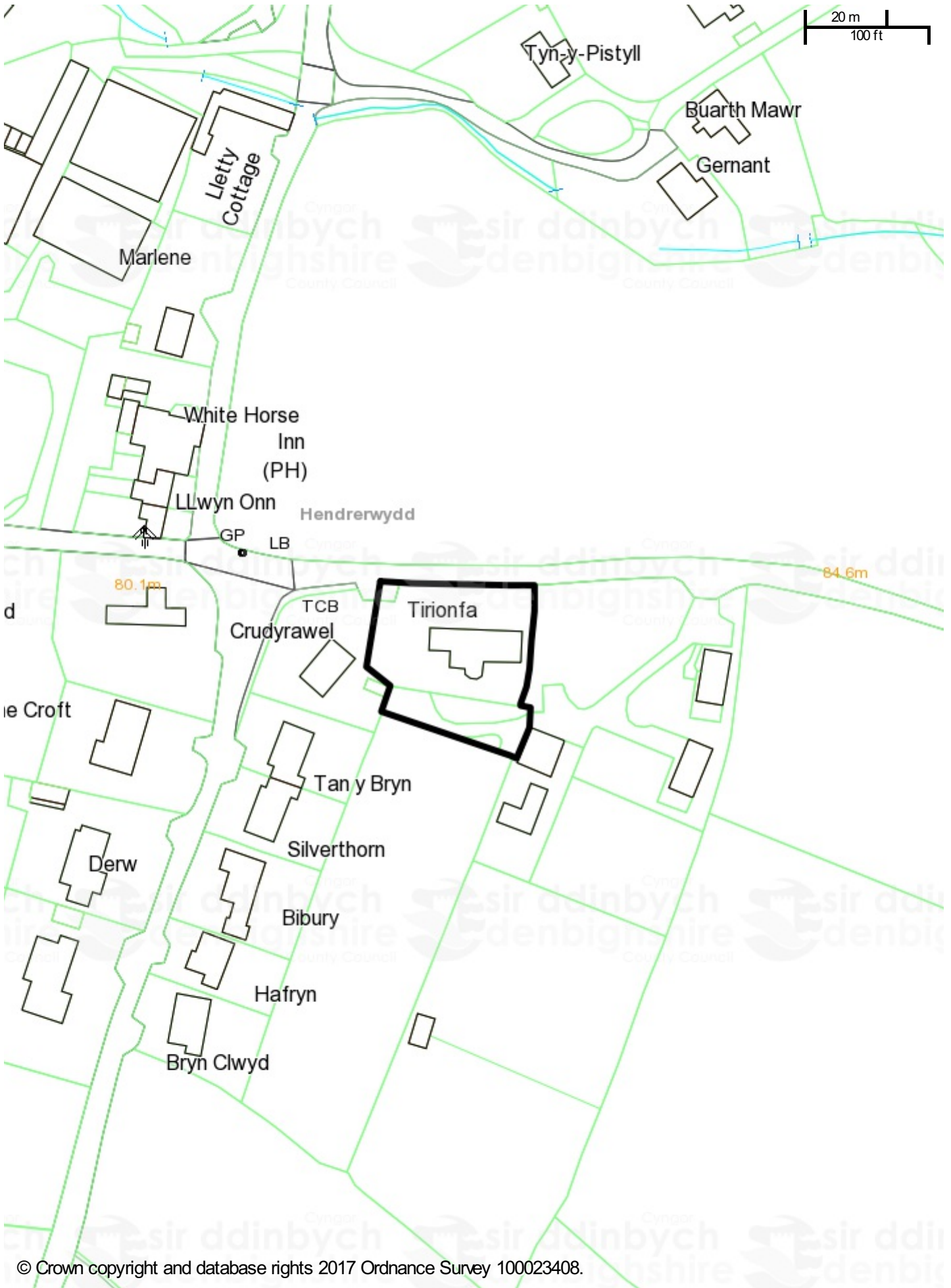
**WARD MEMBER:** Cllr Huw O Williams

**APPLICATION NO:** 22/2019/0275/ PF

**PROPOSAL:** Erection of extensions and alterations to dwelling

**LOCATION:** Tirionfa Hendrerwydd Denbigh

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22/2019/0275

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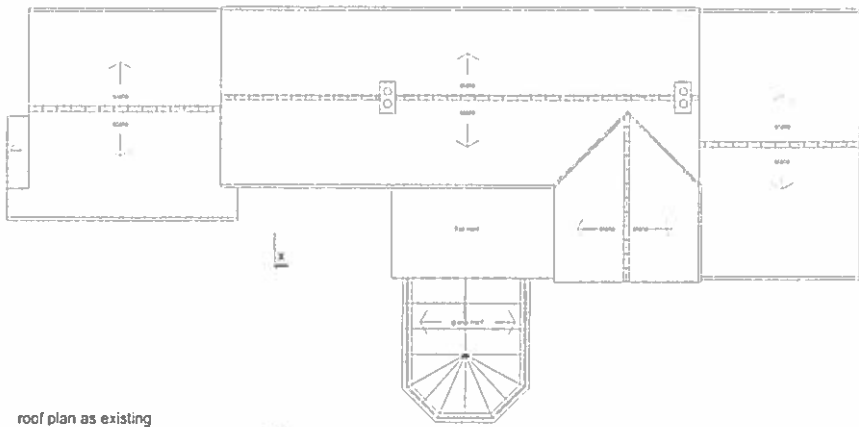




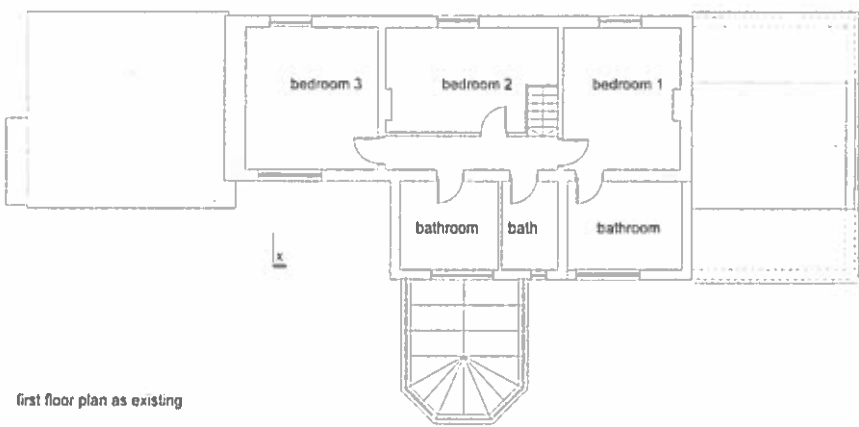




# EXISTING FLOOR PLANS



roof plan as existing

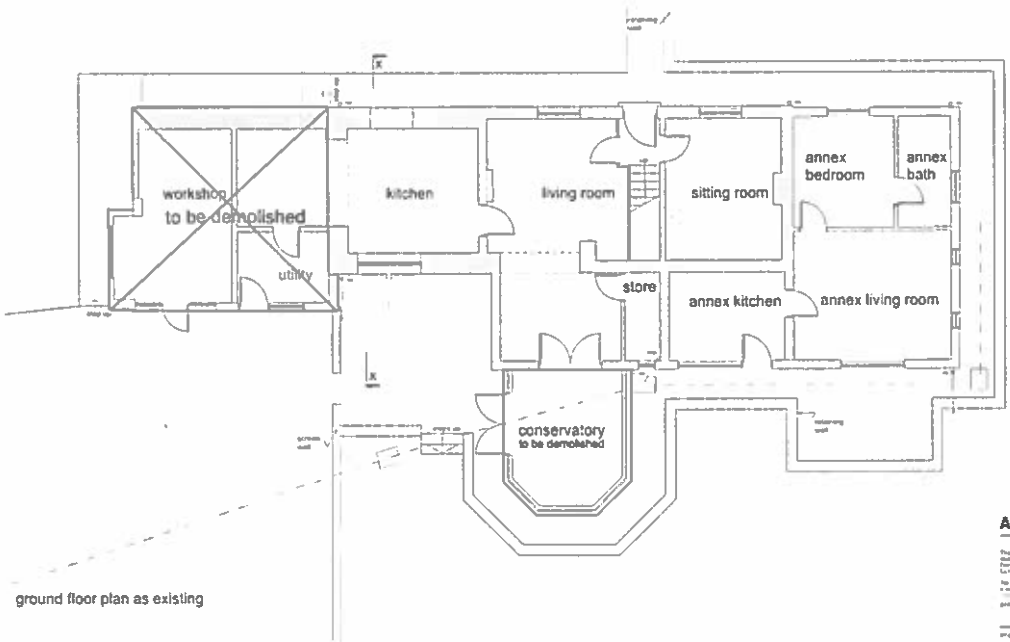


first floor plan as existing

**Adrian Jones Associates**  
 The College Road, BIRVA Hill, Gwynedd, Denbigh, LL15 2JF  
 Tel: 01752 525 525 Fax: 01752 785 810  
 E-mail: [adrian@adrianjones.co.uk](mailto:adrian@adrianjones.co.uk)  
 project: **Tronfa, Hendrewydd, Denbigh**

Site: **Existing First Floor and Roof Plan**

author:	planning	date:	21/07
scale:	1:100 @ A3	drawn:	2019
drawing no:	<b>AL(p)03</b>	checked:	
drawn:		approved:	



ground floor plan as existing

**Adrian Jones Associates**  
 The College Road, BIRVA Hill, Gwynedd, Denbigh, LL15 2JF  
 Tel: 01752 525 525 Fax: 01752 785 810  
 E-mail: [adrian@adrianjones.co.uk](mailto:adrian@adrianjones.co.uk)  
 project: **Tronfa, Hendrewydd, Denbigh**

Site: **Existing Ground Floor Plan**

author:	planning	date:	21/07
scale:	1:100 @ A3	drawn:	2019
drawing no:	<b>AL(p)02</b>	checked:	
drawn:		approved:	



# EXTENT OF DEMOLITION

**Adrian Jones Associates**

The Company Details  
 Company Name: ADRIAN JONES ASSOCIATES LTD  
 Company Number: 11317118  
 VAT No: 276217963  
 Project: Tironia, Hendrerwydd, Denbigh

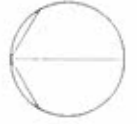
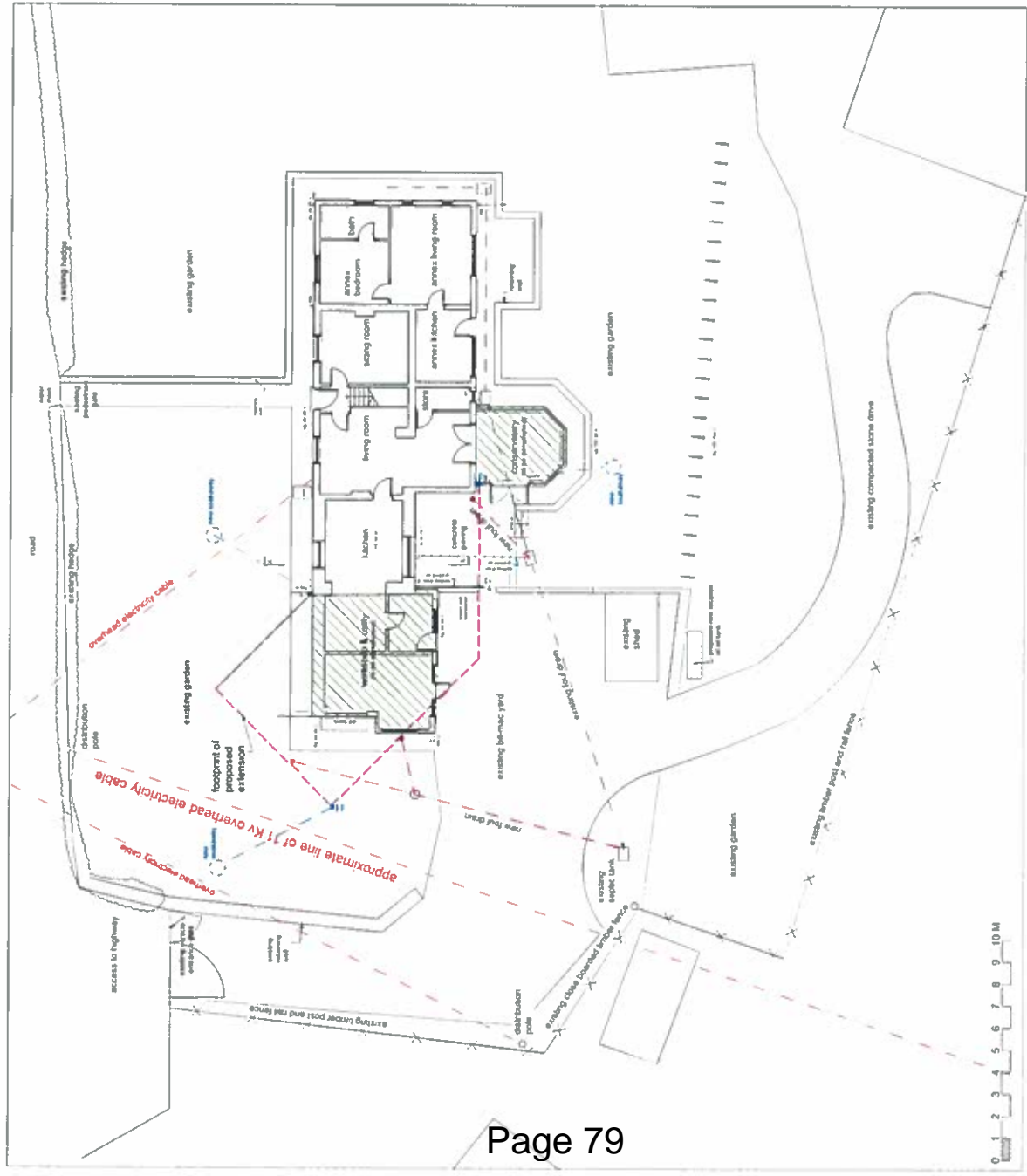
Project: Tironia, Hendrerwydd, Denbigh

Site: Location and Block Plan

status	planning	ref no	21807
scale	1:200 @ A3	date	
	1:1250 @ A3	file	
drawing no	AL(p)01	revision	
drawn		checked	



**Location Plan 1: 1250**  
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areas to be demolished

footprint of proposed extension

**Block Plan 1: 200**





**WARD :** Llanbedr Dyffryn Clwyd / Llangynhafal  
**WARD MEMBER:** Councillor Huw O Williams  
**APPLICATION NO:** 22/2019/0275/ PF  
**PROPOSAL:** Erection of extensions and alterations to dwelling  
**LOCATION:** Tirionfa Hendrerwydd Denbigh  
**APPLICANT:** C Jones  
**CONSTRAINTS:** None  
**PUBLICITY UNDERTAKEN:** Site Notice - No  
Press Notice - No  
Neighbour letters - Yes

**REASON(S) APPLICATION REPORTED TO COMMITTEE:**  
**Scheme of Delegation Part 2**

- Application submitted by close relative of member of Staff of Planning and Public Protection Service

**CONSULTATION RESPONSES:**

LLANGYNHAFAL COMMUNITY COUNCIL-  
No response at time of drafting report

NATURAL RESOURCES WALES-  
No response at time of drafting report

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –  
Ecologist-  
No response at time of drafting report

**RESPONSE TO PUBLICITY:**

None received at time of drafting report

**EXPIRY DATE OF APPLICATION: 15/05/2019**

**REASONS FOR DELAY IN DECISION (where applicable): N/A**

**PLANNING ASSESSMENT:**

**1. THE PROPOSAL:**

1.1 Summary of proposals

- 1.1.1 The application seeks permission for the erection of a side / rear extension including the demolition of existing conservatory and workshop at an existing dwelling, Tirionfa, Hendrerwydd.
- 1.1.2 The proposed side extension would be angled at approximately 45 degrees in a northwest direction from the main dwelling. It would project from the northwest corner of the existing dwelling by 6m and would be 7.4m wide. It would have a roof height of 6.7m and an eaves height of 4.8m to match the existing dwelling. The lean to roof would have a height of 4.2m and an eaves height of 2.3m. The extension would

include a large open- plan kitchen/ dining area at ground floor level and a bedroom with en suite and walk-in-wardrobe to the first floor.

- 1.1.3 The rear extension would create an infill 'link' between the main dwelling and the proposed side extension and would not project further than the existing rear elevation of the main dwelling. It would have a flat roof to match the existing rear extension, with a height of 5m. It would comprise an entrance hall, WC to the ground floor level and a linen room and landing to the first floor. The stairs would be relocated to this area and removed from the centre of the existing dwelling.
- 1.1.4 A full height window is proposed to the northeast elevation, patio doors to the northwest elevation with a glass veranda above along the side elevation and three windows to the southwest elevation including the addition of 3 roof lights in the lean-to roof. A porch with a new entrance door is also proposed to the rear elevation with an additional window to serve the hall.
- 1.1.5 The proposed fenestration to the first floor includes two large windows to the northeast elevation, two narrow windows to the northwest elevation, a high level window to the south elevation and the addition of two roof lights. An additional narrow window to serve the landing is also proposed with a roof light above the stairs.

#### 1.2 Description of site and surroundings

- 1.2.1 Tirionfa is a large detached dwelling located to the east of the crossroads on the southern side of the Llangynhafal Road at Hendrerwydd.
- 1.2.2 The land to the north of the road is open fields, with further fields to the east and south. The western boundary is adjacent to a field which has a width of around 30 metres with a ribbon of development fronting a road beyond to the west.
- 1.2.3 There are established holiday lodges located directly to the east of the site which are within the ownership of the applicant.

#### 1.3 Relevant planning constraints/considerations

- 1.3.1 The site is located outside of any development boundaries in an undesignated area in the Local Development Plan.
- 1.3.2 It is situated within the 'Areas of Search' (Hamlets) under Policy BSC 6 of the Local Development Plan relating to local connections affordable housing in hamlets.

#### 1.4 Relevant planning history

- 1.4.1 Previous extensions have been granted in relation to the property in 1990 and 1995.

#### 1.5 Developments/changes since the original submission

- 1.5.1 None.

#### 1.6 Other relevant background information

- 1.6.1 None.

## 2. **DETAILS OF PLANNING HISTORY:**

- 2.1 33/1050 Extension of property, WITHDRAWN 15/12/1975
- 2.2 33/11202 Extension to existing dwelling to form granny flat and additional bedroom, GRANTED 26/04/1990
- 2.3 33/15170 Extension to dwelling, GRANTED 05/12/1995

## 3. **RELEVANT POLICIES AND GUIDANCE:**

- The main planning policies and guidance are considered to be:
- 3.1 Denbighshire Local Development Plan (adopted 4<sup>th</sup> June 2013)  
**Policy RD3** – Extensions and alterations to existing dwellings

### 3.2 Supplementary Planning Guidance

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Space Standards

### Government Policy / Guidance

Planning Policy Wales Edition 10 December 2018

Development Control Manual (2016)

## 4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned.

The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

4.1.1 Principle

4.1.2 Visual amenity

4.1.3 Residential amenity

4.1.4 Ecology

Other matters

4.2 In relation to the main planning considerations:

4.2.1 Principle

Policy RD 3 relates specifically to the extension and alteration of existing dwellings, and states that these will be supported subject to compliance with detailed criteria. The Residential Development SPG offers basic advice on the principles to be adopted when designing domestic extensions and related developments.

The principle of appropriate extensions and alterations to existing dwellings is therefore acceptable. The assessment of the specific impacts of the development proposed is set out in the following sections.

4.2.2 Visual Amenity

Criteria i) of Policy RD 3 requires the scale and form of the proposed extension or alteration to be subordinate to the original dwelling, or the dwelling as it was 20 years before the planning application is made.

Criteria ii) of Policy RD 3 requires that a proposal is sympathetic in design, scale, massing and materials to the character and appearance of the existing building.

Criteria iii) of Policy RD3 requires that a proposal does not represent an overdevelopment of the site.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the

neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The visual amenity and landscape impacts of development should therefore be regarded as a potential material consideration.

No representations have been received raising visual amenity issues.

The proposal is for the erection of a side and rear extension, including the demolition of an existing conservatory and workshop. The proposed side extension is considered to be subordinate in scale to the existing dwelling as it would replace the footprint of the existing single storey workshop extension.

The first floor of the side extension is proposed to be finished in cedar cladding and it would be visible from public vantage points. Whilst this material does not match the existing dwelling, it is a modern addition which Officers are of the opinion adds an element of interest and clearly shows the extension as an addition to the original dwelling. It is not considered that the proposals would have a detrimental impact on the visual amenity of the area as there is no distinctive character of property in the locality.

Having regard to the design, siting, scale, massing and materials of the proposed extensions, in relation to the character and appearance of the dwelling itself, the locality and landscape, it is considered the proposals would not have an unacceptable impact on visual amenity and would therefore be in general compliance with the tests in the policies referred to.

#### 4.2.3 Residential Amenity

Criteria iii) of Policy RD 3 requires that a proposal does not represent an overdevelopment of the site.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The residential amenity impacts of development should therefore be regarded as a potential material consideration. The impact of the proposals on visual amenity is therefore a basic test in the policies of the development plan.

The Residential Space Standards SPG specifies that 40m<sup>2</sup> of private external amenity space should be provided as a minimum standard for residential dwellings.

No representations have been received raising residential amenity issues.

The proposal is for the erection of a side and rear extension, including the demolition of an existing conservatory and workshop.

The Residential Development SPG states that no more than 75% of a residential property should be covered by buildings and that 40m<sup>2</sup> of private external amenity space should be provided as a minimum standard for residential dwellings.

The dwelling is located in a large residential plot with ample amenity space to the front and rear. A distance of approximately 6m would remain to the northwest boundary fence from the side extension at the narrowest point. It is not considered that the increase in size of the dwelling would represent an overdevelopment of the plot and sufficient amenity space would remain as a result of the extensions.

There are no immediate neighbours adjacent to the dwelling, with the nearest residential property located approximately 18m to the west. There are narrow windows proposed in the first floor northwest elevation which would serve an en suite

and dressing room. It is considered that the windows would not raise overlooking or privacy issues to the property to the west as there would be a sufficient separation distance to the side of the extension..

Having regard to the scale, location and design of the proposed development, it is considered that the proposals would not have an unacceptable impact on residential amenity, and would therefore be in general compliance with the tests of the policies referred to.

#### 4.2.4 Ecology

Policy VOE 5 requires due assessment of potential impacts on protected species or designated sites of nature conservation, including mitigation proposals, and suggests that permission should not be granted where proposals are likely to cause significant harm to such interests.

This reflects policy and guidance in Planning Policy Wales (PPW 10) (Section 5.2), current legislation and Conservation and Enhancement of Biodiversity SPG (2016), which stress the importance of the planning system in meeting biodiversity objectives through promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.

The proposal involves the demolition of existing conservatory and workshop. The application is supported by a Protected Species Survey (carried out in March 2019) which reports the findings of a day-time building survey of the dwelling. No visible evidence of bats were found and it was concluded that the potential for the garage/utility to support roosting bats was negligible.

It is not considered likely that the proposals will give rise to ecological issues. Any responses from the Council's Ecologist and NRW will be included in the late information sheets.

#### Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

## **5. SUMMARY AND CONCLUSIONS:**

5.1 Having regard to the detailing of the proposals, the potential impacts on the locality, and the particular tests of the relevant policies, the application is considered to be acceptable and is recommended for grant.

**RECOMMENDATION: GRANT-** subject to the following conditions:-

1. The development to which this permission relates shall be begun no later than 17th April 2024

2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission:
  - (i) Existing elevations and section (Drawing No. AL(p)04) received 21 March 2019
  - (ii) Existing ground floor plan (Drawing No. AL(p)02) received 21 March 2019
  - (iii) Existing first floor and roof plan (Drawing No. AL(p)03) received 21 March 2019
  - (iv) Proposed elevations 2/3 and Section AA (Drawing No. AL(p)07) Rev A received 1 April 2019
  - (v) Proposed elevations 1/4 and Section BB (Drawing No. AL(p)08) received 21 March 2019
  - (vi) Proposed ground floor plan (Drawing No. AL(p)05) received 21 March 2019
  - (vii) Proposed first floor and roof plan (Drawing No. AL(p)06) received 21 March 2019
  - (viii) Illustrative views of proposed extension (Drawing No. AL(p)09) received 21 March 2019
  - (ix) Location and block plan (Drawing No. AL(p)01) received 21 March 2019

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.

**Report To:** Planning Committee

**Date of Meeting:** 17<sup>th</sup> April 2019

**Lead Member / Officer:** Cllr Brian Jones, Highways, Planning and Sustainable Travel  
Angela Loftus, Strategic Planning and Housing Manager

**Report Authors:** Angela Loftus, Strategic Planning and Housing Manager/  
Chris Evans, Principal Planning & Public Protection Officer

**Title:** Report on consultation and adoption of changes to Rhyl Conservation Area



## **1. What is the report about?**

1.1 This report outlines the comments received as a result of consultation on the Rhyl Conservation Area Appraisal and proposed changes to the Conservation Area. A summary of the consultation undertaken and comments received, together with proposed responses, is attached as Appendix 1.

## **2. What is the reason for making this report?**

2.1 To ensure that Members are aware of the comments received as a result of the consultation undertaken and to agree the changes proposed to the extent of the Rhyl Conservation Area.

## **3. What are the Recommendations?**

3.1 That Members approve the proposed changes to Rhyl Conservation Area (as shown on plan attached as Appendix 2).

3.2 That the Committee confirms that it has read, understood and taken account of the Well-being Impact Assessment (Appendix 3) as part of its consideration.

#### 4. Report details

4.1 A Conservation Area is an area 'of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance.' Local authorities have a duty to review the extent of conservation areas and to publish proposals for the preservation and enhancement of conservation areas. The purpose of a Conservation Area Appraisal is to define and record the special historic interest of the Conservation Area. The Rhyl Central Conservation Area Appraisal fulfils this duty in relation to Rhyl.

4.2 Originally there were two separate Conservation Areas designated in central Rhyl with St Thomas Conservation Area designated in 1988 and Queen Street/Crescent Road Conservation Area designated in 1992. In 2007 it was decided to review both Conservation Areas in central Rhyl and combine them into one larger conservation Area. The current Conservation Area covers a broad area of Rhyl Town Centre from Abbey Road in the east to Bath Street in the west and from West Parade in the north to the railway station in the south.

4.3 It was decided that the Rhyl Conservation Area would benefit from a review as it was felt some areas had lost their character and it was a large area to manage. Purcell Architects who are consultants experienced in conservation were appointed to carry out the review.

4.4 The key findings of the appraisal undertaken were that changes to the boundaries of the Conservation Area are required. Areas around Edward Henry Street, Premier Inn site, Harkers Amusements and Queen Street are proposed to be removed due to erosion of character and areas around Morlan Park, Bath Street and High Street are suggested for inclusion as they retain character which should be protected. The changes proposed are shown on the plan



attached as Appendix 2. There is no statutory requirement to consult prior to the revision of a conservation area, however it is clearly good practice to consult with local property owners and residents, businesses and other interests, such as amenity bodies.

- 4.5 Following Planning Committee approval to consult on 18<sup>th</sup> July 2018, an 8 week consultation period started on 3<sup>rd</sup> September 2018. Rhyl Town Council were consulted along with key stakeholders and residents and landowners affected by the proposals. Explanatory leaflets and letters were delivered by hand to all the affected properties. Hard copies of documents were made available in Rhyl library and one stop shop as well as on the Denbighshire web site. In addition information was made available at the 'drop-in' event at a 'pop up shop' in the White Rose Centre as part of consultation on the Rhyl Town Centre Masterplan. The Council's new Consultation Portal was also used for this consultation and a number of people responded to the on-line survey provided. A table setting out the comments received and proposed responses is attached as Appendix 1.

### **Comments received**

- 4.6 A total of seven responses were received via the Council's Consultation Portal, all agreed with the proposal to designate new boundaries to Rhyl Conservation Area, with 5 agreeing with the boundaries proposed. In addition, five written responses were received. Key issues raised include:
- Support for the changes proposed
  - Concerns regarding the impact on properties in the area and potential additional restrictions imposed
  - Additional extensions to the Conservation Area suggested, including Splash Point to Bath St, the H Bridge and Marsh St, Aquarium Street/ John Street/ River Street/ Butterson Road/ Palace Avenue and parts of Wellington Road

- Cadw express support for extensions proposed to the Conservation Area to include the upper parts of Bath Street and Morlan Park and the former Regal Cinema but have concerns about proposals to exclude areas on the along the north–west boundary of the Conservation Area; the Premier Inn, Harker’s Amusements and Queen Street development sites, Clarence Road coach park and the northern end of Edward Henry Street, as this could weaken control over future development.
- Support for changes to the boundary at Edward Henry St, and suggestion that additional land at Edward Henry St should be removed from the Conservation Area.

4.7 Detailed responses to the issues raised are set out in Appendix 1. Original responses are available from the Strategic Planning & Housing Team. In summary, it is felt the areas proposed for removal from the Conservation Area have generally lost their historic and architectural integrity and there is a need to focus our resources on areas retaining value. Those areas proposed for inclusion around Morlan Park, Bath Street and High Street are considered to retain character which should be protected.

#### **What happens next?**

4.8 If the proposed Conservation Area boundary changes are approved by Planning Committee, the Council must place a notice in the *London Gazette* and a local newspaper, and details of the Conservation Area must be recorded in the historic environment record. The Clwyd Powys Archaeological Trust must be notified as they maintain the local Historic Environment Record. We will also notify Cadw, the Council’s Legal and Land Charges Departments and the Conservation Area residents.

5. **How does the decision contribute to the Corporate Priorities?**

- 5.1 Corporate Priorities 2017 – 22. The Rhyl Conservation Area Appraisal will contribute positively to the following corporate priority:
- The environment is attractive and protected, supporting well-being and economic prosperity.
6. **What will it cost and how will it affect other services?**
- 6.1 Approving the proposed Conservation Area boundary changes is not anticipated to create any additional costs and is unlikely to have an impact on other Council services.
7. **What are the main conclusions of the Well-being Impact Assessment?**
- 7.1 The Wellbeing Assessment demonstrates positive impacts on all wellbeing goals, with the exception of ‘A more equal Denbighshire’ and ‘A globally responsible Denbighshire’, which were both scored as neutral impacts. Rhyl Conservation Area review and proposed boundary changes will inform work on Rhyl Town Centre Masterplan and various projects contributing to town centre improvements. This work will create positive impacts. The key to the projects' success will be active engagement and communication with all sectors of the community. This will enable us to promote all the identified well-being goals throughout each project and to mitigate any potential negative impacts. By undertaking a project management methodology and having regular communication with stakeholders, this will enable us to manage any impacts that are not yet known.
8. **What consultations have been carried out with Scrutiny and others?**
- 8.1 There has been liaison between sections within Planning and Public Protection. Discussions with other DCC services and within the Rhyl Town Centre Master Plan work.
9. **Chief Finance Officer Statement**
- 9.1 There will be limited costs resulting from the requirement to advertise changes and notifying affected property owners and residents. The costs should be contained within existing resources.
10. **What risks are there and is there anything we can do to reduce them?**

10.1 There is a risk of affected property owners and residents not understanding the implications of the proposals. We will aim to reduce this risk by ensuring that those affected are notified with explanatory information on the implications provided.

## **11. Power to make the Decision**

11.1 The Historic Environment (Wales) Act 2016

Name of Respondent	Comments	Response
Robin Evans	<p><b>Any other conservation measures taken in the area?</b> Marine lake. The lake is of natural importance as it is home to many birds and animals. The railway is the oldest miniature railway in the UK. At the moment the place is spoilt with anti-social behaviour and drug dealing and using.</p> <p><b>Are there any other comments you would like to make?</b> I fully support Denbighshire's vision for the future of Rhyl and would like to pass on my thanks to the hard working people within DCC who have already made a positive difference to our town. Thanks!!</p>	DCC are currently not looking at adding any further Conservation Areas in Rhyl. It is acknowledged the Marine Lake is an important site but the purpose of a Conservation Area is to preserve and enhance the built heritage of a designated area and does not cover nature reserves and tourist attractions.
S R Holdsworth (Ms)	<p>Unfortunately I was away when the exhibition was on, so was unable to attend.</p> <p>I would be interested to hear what types of restrictions you intend putting on my property.</p> <p>Will these remove our ability to park on our own land around the back of the houses, as these properties were sold with vehicular access to the rear? Will we be expected to remove the current (Council supplied and fitted) plastic drain pipes, gutters and windows? Or be expected to remove the (Council supplied and fitted) pebble dashing, rear walls and gates? What about repairs to our party walls, our already installed satellite dishes and TV aerials? Are you going to remove the on street parking, for which we currently have to pay? How will living in a listed building affect its value or saleability?</p>	<p>The main restrictions in a conservation area are demolishing buildings and removing/lopping trees where consent is required. Other factors involved are when new development is proposed, the impact on the character of the area would be considered when planning applications are submitted.</p> <p>If there are existing rights to park at the rear of the property then this will not be affected. All of the other items mentioned which are existing will not be affected as it is only new development which is considered. Any listed buildings are already designated and the value and saleability should not be affected by being in a Conservation Area.</p> <p>It is assumed the modified houses are those involved previously and refurbished under a regeneration scheme when they were outside the boundary of the</p>

	<p>It does seem a little ridiculous that these modified houses are to be included in a conservation area, especially when some of the modifications were done by the Council.</p>	<p>Conservation Area. They have retained substantial character to be recommended for inclusion into the area</p>
<p>Mr Matthew Stephen Lovelock BA (Hons)</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">Page 94</p>	<p>Woolworths (1954) building should form the North Easterly boundary of the High Street area to include the Woolworths building (now B &amp; M) at 1-7 East Parade which itself should be listed.</p> <p>Conservation Area to be extended from Splash Point to Bath Street (on the South side of the East Parade/ Marine Drive only) to include established properties including Colet House which itself is not listed but ought to be.</p> <p>The H Bridge and Marsh Road to be included in the Conservation Area due to the value of Railway Terrace and Marsh Road as an extension of the natural boundary to the South of the railway.</p> <p>Aquarium Street/ John Street/ River Street/ Butterson Road/ Palace Avenue and parts of Wellington Road to be included in the Conservation Area to encompass West End properties including some parts of West Parade especially between Palace Hotel and John Street but leaving out the new Home on the site of Chippy 77 (77 West Parade) and the other new Home on the corner of John Street.</p> <p>It would be nice in addition if the Council could put forward to Cadw suggestions for additions to the Statutory List. I could suggest some properties.</p>	<p>Although there are fine individual non listed buildings retaining character in the areas mentioned, these areas as a whole would not be considered to be of special architectural or historic interest.</p> <p>The existing Conservation Areas in Rhyl have been selected as the best examples which contain the most historic value which need the protection to preserve the character of the these areas</p> <p>Please note that River Street (mentioned in response) is covered under a Conservation Area.</p> <p>If any individual properties are deemed worthy of listing then there is scope to suggest them to Cadw for inclusion</p>

<p>Philip Hobson Protection &amp; Policy, CADW</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">Page 95</p>	<p>Thank you for your letter of 3 September consulting us on your authority's review of the building conservation area for Rhyl.</p> <p>We welcome this very thorough appraisal which serves to show how much special character worth protecting Rhyl still retains. The reasons for extending the north-eastern boundary of the conservation area to include the upper parts of Bath Street and Morlan Park and the former Regal Cinema, as set out in p.64 of the review document, are well-founded and we would support the proposed inclusion of these additional areas.</p> <p>We are less convinced however, by the reasoning behind the proposals to exclude several sections along the north-west boundary of the conservation area; the Premier Inn, Harker's Amusements and Queen Street development sites, Clarence Road coach park and the northern end of Edward Henry Street. Our worry here is that that by excluding these areas, control over future development may be weakened, leading to the demolition of the older buildings in poor condition and their replacement by new buildings that do not complement the historic character of this part of Rhyl.</p> <p>We would not regard this to be an appropriate course of action. Where there are concerns about the condition of buildings or the cost of repairs or plans for re-development, the proper mechanism would be to seek conservation area consent for their demolition. If buildings are genuinely beyond repair, and demolition is found to be the only option then it is preferable that they should be rebuilt in a form and character that matches the demolished structures as they</p>	<p>It is acknowledged that it is with reluctance areas are removed from Conservation Areas, please see below the reasoning behind removing the following areas in question;</p> <p>Queen Street – area to be removed is a group of buildings which have previously been demolished and is now a car park. If this plot is to be developed in the future then any new development would be controlled going through the planning process to ensure an appropriate scheme to complement the Conservation Area is brought forward. There are two properties remaining included for removal</p> <p>Edward Henry Street DCC Conservation has requested part of the proposed area for removal be retained (nos 1-9) which is felt does positively contribute however (nos. 11 -30) are in extremely poor condition and retain little character and along with the houses opposite (nos. 20-30) which are a modern housing development constructed in the 1990's and it is felt are justified for removal.</p> <p>West Parade The new Premier Inn constructed 2 years ago along with an amusement arcade of little historic value are felt not appropriate to be included in the Conservation Area.</p> <p>Crescent Road Car Park</p>
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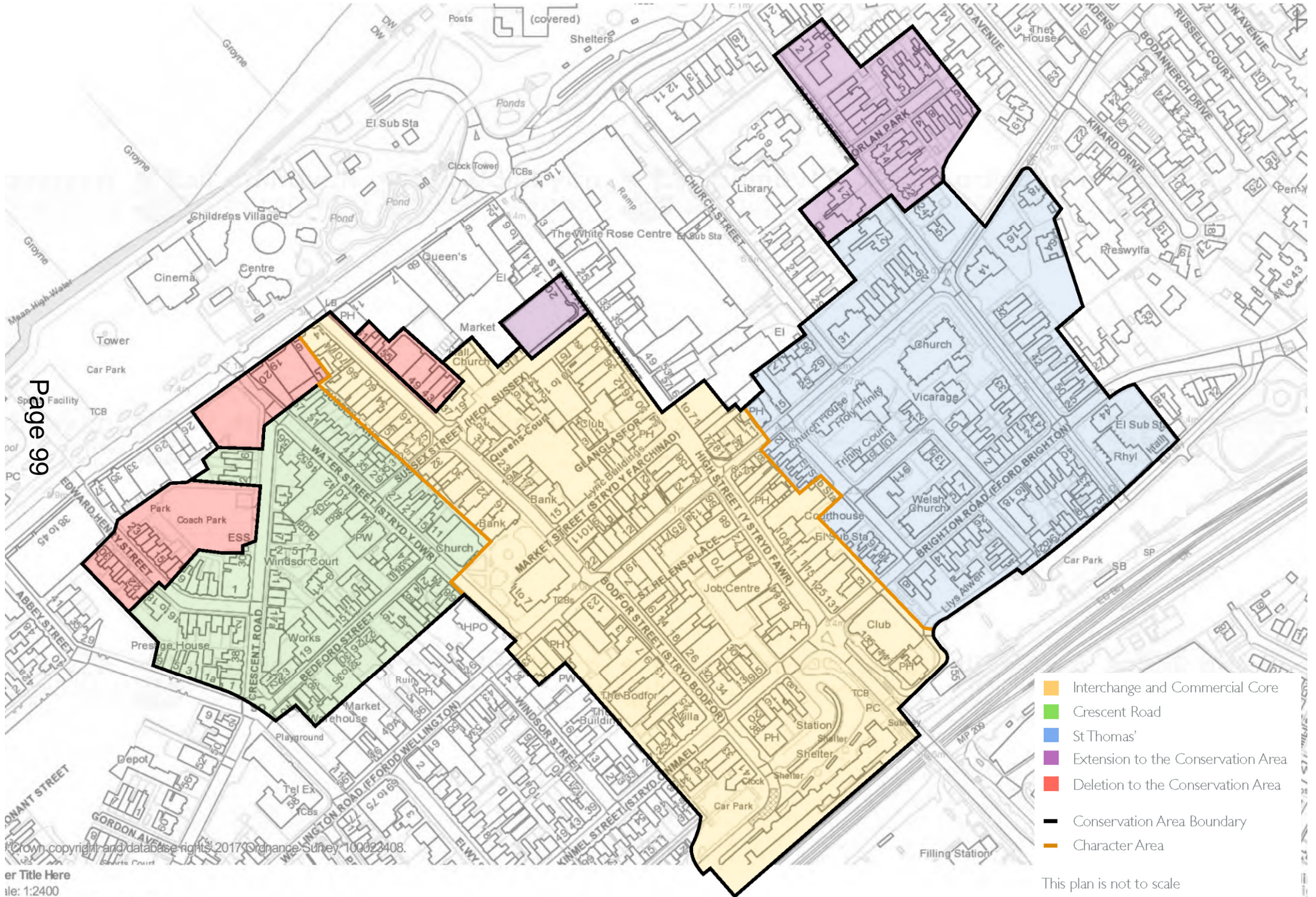
	<p>played an important role in the character of the surrounding area.</p> <p>The basis for excluding these parts of the conservation area is that most of the buildings are in poor condition and have lost much of their historic detail and the council wish to focus resources on those parts of the conservation area that are in better condition. We appreciate the need to focus resources but, whilst resources for positive interventions could be targeted, high standards of development management should be applied across the whole of the designated area.</p>	<p>This is a DCC public car park and it is felt does not contribute to the Conservation Area.</p> <p>Bedford Street It is felt the buildings on the south side of this street have lost their historic and architectural integrity and we need to focus our resources on areas retaining value.</p>
<p>PG Lloyd</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">Page 96</p>	<p>I am instructed by Pennaf Housing Group (PHG) to set out representations in response to the Review of the Rhyl Conservation Area. In summary PHG supports the current suggested amendment to the Conservation Area boundary at Edward Henry Street.</p> <p>However PHG seeks an additional amendment to the Conservation Area boundary to remove land at number 3, 5, 7 and 9 Edward Henry Street (marked yellow on the plan attached to this letter) from the Conservation Area as part of the review.</p> <p>This response is based on assessment of the Conservation Area Review/Appraisal document, Planning Policy Wales, TAN 24 and associated other guidance, including adopted supplementary planning guidance for the site The reasons for proposing this further revision are set out in summary below.</p>	<p>Please see response to each individual item below;</p> <ol style="list-style-type: none"> <li>1. The buildings (3,5,7,9 Edward Henry St) retain significant character and are a good example of a Victorian terrace making a positive contribution to the Conservation Area.</li> <li>2. The adjacent terrace north of these buildings retain very little character, are in extremely poor condition and have a negative contribution to the Conservation Area.</li> <li>3. Any building is suitable for retention and refurbishment and the internal changes do not impact the Conservation Area.</li> <li>4. Retaining these buildings will have a significant positive impact on the future ambitions of West Rhyl by retaining the Victorian character. These buildings can easily be refurbished to provide good quality housing and it only requires the vision and will of the owner and consultant to achieve this.</li> </ol>



Page 97	<ol style="list-style-type: none"><li>1. The buildings make a less than positive contribution to the Conservation Area.</li><li>2. It would be consistent with the approach taken on the north/eastern side of Edward Henry Street (notably the other property north of these buildings identified as at risk or as compromised heritage assets in the Review.</li><li>3. The degree of earlier incremental change, subdivision and overall condition of the buildings is such that they are unsuitable for retention or viable refurbishment.</li><li>4. Retaining the buildings within the Conservation Area may significantly and detrimentally impact on the long term proposals and ambitions to regenerate West Rhyl. Wider corporate aspirations to improve housing conditions and regenerate the town could be seriously prejudiced and conflict with other SPG objectives.</li><li>5. The setting of the Conservation Area, and of adjacent listed buildings could in any event be materially preserved and enhanced by newly designed modern buildings which would replace the existing buildings and in doing so deliver a modern and cohesive housing development that reflects the new vision for a Rhyl in the 21st century and beyond.</li></ol>	<ol style="list-style-type: none"><li>5. The setting of the Conservation Area and adjoining buildings can only be preserved and enhanced by retaining these buildings and by not demolishing them to make way for a modern development</li></ol>
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# Appendix 2 – Conservation Area Plan



- Interchange and Commercial Core
- Crescent Road
- St Thomas'
- Extension to the Conservation Area
- Deletion to the Conservation Area
- Conservation Area Boundary
- Character Area

This plan is not to scale

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# Rhyl Conservation Area review

## Well-being Impact Assessment Report

This report summarises the likely impact of the proposal on the social, economic, environmental and cultural well-being of Denbighshire, Wales and the world.

Assessment Number:	541
Brief description:	Report on consultation and adoption of changes to Rhyl Conservation Area. This work is part of the Rhyl Public Realm Strategy and Rhyl Town Centre Masterplan.
Date Completed:	Version: 0
Completed by:	
Responsible Service:	Planning & Public Protection
Localities affected by the proposal:	Rhyl,
Who will be affected by the proposal?	Residents, visitors, businesses, partner organisations, landlords
Was this impact assessment completed as a group?	Yes

# IMPACT ASSESSMENT SUMMARY AND CONCLUSION

Before we look in detail at the contribution and impact of the proposal, it is important to consider how the proposal is applying the sustainable development principle. This means that we must act "in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs."

## Score for the sustainability of the approach

★ ★ ★ ☆ ( 3 out of 4 stars ) Actual score : 25 / 30.

## Implications of the score

As part of the work on the environmental enhancement of Rhyl and the Rhyl Town centre masterplan, as these projects progress we will revisit the five ways of working and ensure any improvements to sustainability is embedded within.

## Summary of impact

Well-being Goals

A prosperous Denbighshire

A resilient Denbighshire

A healthier Denbighshire

A more equal Denbighshire

A Denbighshire of cohesive communities

A Denbighshire of vibrant culture and thriving Welsh language

A globally responsible Denbighshire

Positive

Positive

Positive

Neutral

Positive

Positive

Neutral



## Main conclusions

Rhyl conservation area review and proposed boundary changes will inform work on Rhyl Town Centre Masterplan and various projects contributing to town centre improvements. This work will create positive impacts. The key to the projects' success will be active engagement and communication with all sectors of the community. This will enable us to promote all the identified well-being goals throughout each project and to mitigate any potential negative impacts. By undertaking a project management methodology and having regular communication with stakeholders, this will enable us to manage any impacts that are not yet known.

## Evidence to support the Well-being Impact Assessment

- We have consulted published research or guides that inform us about the likely impact of the proposal
- We have involved an expert / consulted a group who represent those who may be affected by the proposal
- We have engaged with people who will be affected by the proposal

# THE LIKELY IMPACT ON DENBIGHSHIRE, WALES AND THE WORLD

## A prosperous Denbighshire

<b>Overall Impact</b>	Positive
<b>Justification for impact</b>	Environmental enhancement can only improve the prosperity of an area, i.e. better place to live, work, invest and visit
<b>Further actions required</b>	On going monitoring to ensure best practical means are employed to achieve the outcomes.

### Positive impacts identified:

<b>A low carbon society</b>	Boundary changes proposed will allow for some redevelopment. Energy efficient buildings / properties. Any new buildings will be required to meet higher energy efficiency standards
<b>Quality communications, infrastructure and transport</b>	Not relevant to this report
<b>Economic development</b>	Increased visitor numbers due to improved environment. More quality residential dwellings in town centre. Enhance the local environment & visual appearance to be more attractive to residents and businesses. Increase footfall.
<b>Quality skills for the long term</b>	Opportunities for specialist skills development in conservation & renovation of historic buildings. Volunteer groups get involved in longer term maintenance in enhanced environment.
<b>Quality jobs for the long term</b>	An enhanced environment will attract businesses investment hence result in mixed of job opportunities
<b>Childcare</b>	Not relevant to this report

### Negative impacts identified:

<b>A low carbon society</b>	Potential conflict between energy conservation and historic built heritage conservation.
<b>Quality communications, infrastructure and transport</b>	Not relevant to this report
<b>Economic development</b>	Refurbishment of historical buildings could conflict with business aspirations. Inconvenience during renovation.
<b>Quality skills for the long term</b>	
<b>Quality jobs for the long term</b>	
<b>Childcare</b>	Not relevant to this report

## A resilient Denbighshire

<b>Overall Impact</b>	Positive
<b>Justification for impact</b>	The protection and enhancement of important historic buildings in Rhyl will contribute to a more desirable environment.
<b>Further actions required</b>	Ensure communication is effective, to minimise complaints. Maximise opportunities to raise awareness about people's environment

#### Positive impacts identified:

<b>Biodiversity and the natural environment</b>	The conservation area designation provides some protection for existing trees - permission is required before any works or felling can be carried out.
<b>Biodiversity in the built environment</b>	We could develop guidance to maximise biodiversity. Retaining historic buildings could mean the retention of habitats for bats.
<b>Reducing waste, reusing and recycling</b>	Encouraging re-use of materials from renovated buildings
<b>Reduced energy/fuel consumption</b>	Boundary changes proposed will allow for some redevelopment. Any new buildings will be required to meet higher energy efficiency standards
<b>People's awareness of the environment and biodiversity</b>	The enhancement of historic buildings will raise people's awareness of the historic environment. Consultation and engagement has taken place on conservation review .
<b>Flood risk management</b>	Not relevant to this report

#### Negative impacts identified:

<b>Biodiversity and the natural environment</b>	
<b>Biodiversity in the built environment</b>	Enhancing historic buildings could result in disturbance of habitats
<b>Reducing waste, reusing and recycling</b>	Increase demand for waste collection, if footfall increases
<b>Reduced energy/fuel consumption</b>	Potential conflict between energy conservation and historic built heritage conservation
<b>People's awareness of the environment and biodiversity</b>	More complaints from public and residents (resource implications of responding)
<b>Flood risk management</b>	Not relevant to this report

### A healthier Denbighshire

<b>Overall Impact</b>	Positive
<b>Justification for impact</b>	The review and enhancement of the conservation area aims to contribute to the delivery of an improved environment encouraging footfall to the town. A more vibrant town centre should see increased food and leisure offers. An improved ambience will create the feeling of a safer environment.



<b>Further actions required</b>	Engage with wider range of stakeholder groups who can provide input into work within the conservation area by providing expertise on a range of disabilities and mental health issues
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### Positive impacts identified:

<b>A social and physical environment that encourage and support health and well-being</b>	Protection and enhancement of important historic buildings within the conservation area will contribute to the creation of a positive physical environment supporting well-being.
<b>Access to good quality, healthy food</b>	Not relevant to this report
<b>People's emotional and mental well-being</b>	By creating a positive physical environment this will support emotional and mental wellbeing. Improved town centre ambience creating an improved sense of safety and well being.
<b>Access to healthcare</b>	Not relevant to this report
<b>Participation in leisure opportunities</b>	Not relevant to this report

### Negative impacts identified:

<b>A social and physical environment that encourage and support health and well-being</b>	
<b>Access to good quality, healthy food</b>	Not relevant to this report
<b>People's emotional and mental well-being</b>	
<b>Access to healthcare</b>	Not relevant to this report
<b>Participation in leisure opportunities</b>	Not relevant to this report

## A more equal Denbighshire

<b>Overall Impact</b>	Neutral
<b>Justification for impact</b>	The proposed changes to the conservation area boundaries are likely to have a neutral impact. However, regeneration projects within the conservation area should address inequalities, create opportunities and maximise the accessibility within the town centre, particular people with protected characteristics.
<b>Further actions required</b>	Ensure communication with relevant individuals and groups representing people with protected characteristics. Ensure designs of public spaces and facilities within the conservation area are developed with people with protected characteristics

### Positive impacts identified:

<b>Improving the well-being of people with protected characteristics. The nine protected characteristics are: age; disability; gender reassignment; marriage or civil partnership; pregnancy and maternity; race; religion or belief; sex; and sexual orientation</b>	Proposed changes to the conservation area will allow for redevelopment within part of West Rhyl to provide modern accessible housing to replace the current poor quality accommodation.
<b>People who suffer discrimination or disadvantage</b>	Proposed changes to the conservation area will allow for redevelopment within part of West Rhyl to provide modern accessible housing to replace the current poor quality accommodation
<b>Areas with poor economic, health or educational outcomes</b>	None identified
<b>People in poverty</b>	A thriving town centre may support economic activity and offer opportunities for those on low income or unemployed better job prospects

#### **Negative impacts identified:**

<b>Improving the well-being of people with protected characteristics. The nine protected characteristics are: age; disability; gender reassignment; marriage or civil partnership; pregnancy and maternity; race; religion or belief; sex; and sexual orientation</b>	None identified
<b>People who suffer discrimination or disadvantage</b>	Extensions to parts of the conservation area may raise property values, pricing out those people.
<b>Areas with poor economic, health or educational outcomes</b>	None identified
<b>People in poverty</b>	None identified

<b>Overall Impact</b>	Positive
<b>Justification for impact</b>	An improved ambience will lead to improved perceptions of safety. Better maintained buildings which are attractive and vibrant, both day and night, will also lead to a greater perception of safety for those in the town centre.
<b>Further actions required</b>	Fair and proportionate enforcement action, which is communicated clearly and consistently to property and business owners will resolve potential negative consequences. Ensure communication with relevant individuals, groups and businesses. Ensure designs of regeneration projects and public spaces and facilities are developed with people with protected characteristics.

### Positive impacts identified:

<b>Safe communities and individuals</b>	Protection and enhancement of historic buildings will contribute to an improved ambience, leading to improved perceptions of safety and increased footfall will help. Better maintained buildings which are attractive and vibrant, both day and night, will also lead to a greater of perception of safety for those in the town centre.
<b>Community participation and resilience</b>	Consultation on changes to the conservation area has taken place. Need to ensure ongoing communication with relevant individuals, groups and businesses
<b>The attractiveness of the area</b>	Protection and enhancement of historic buildings will contribute to improving the attractiveness of Rhyl.
<b>Connected communities</b>	Not relevant to this report

### Negative impacts identified:

<b>Safe communities and individuals</b>	Potential conflict between protection of historic buildings and shop fronts and the re-instatement of original historic features
<b>Community participation and resilience</b>	Potential for conflict of opinions from various groups, over the details of the projects
<b>The attractiveness of the area</b>	None identified
<b>Connected communities</b>	Not relevant to this report

## A Denbighshire of vibrant culture and thriving Welsh language

<b>Overall Impact</b>	Positive
<b>Justification for impact</b>	It is difficult to quantify any negative or positive impact on the Welsh Language. However, the retention of the conservation area, with proposed changes, is important to the culture and heritage of the town.
<b>Further actions required</b>	As part of the engagement and communication strategy for the Masterplan and these linked projects, promote the economic and social benefits of a greater use and promotion of the Welsh Language.

### Positive impacts identified:

<b>People using Welsh</b>	Not relevant to this report
<b>Promoting the Welsh language</b>	Not relevant to this report
<b>Culture and heritage</b>	Retaining a robust conservation area in Rhyl will assist in the retention and enhancement of important historic assets - important to the culture and heritage of the town.

#### Negative impacts identified:

<b>People using Welsh</b>	Not relevant to this report
<b>Promoting the Welsh language</b>	Not relevant to this report
<b>Culture and heritage</b>	None identified

### A globally responsible Denbighshire

<b>Overall Impact</b>	Neutral
<b>Justification for impact</b>	Changes to Rhyl conservation area are unlikely to provide positive or negative consequences globally.
<b>Further actions required</b>	Having regard to sustainable development principles, i.e. sourcing materials and services locally, this will ensure that conservation area projects are undertaken in a responsible manner.

#### Positive impacts identified:

<b>Local, national, international supply chains</b>	Opportunities to source local materials, both natural and man-made, for work within the conservation area
<b>Human rights</b>	Any council project will have regard to the relevant legislation, pertaining to human rights
<b>Broader service provision in the local area or the region</b>	None identified

#### Negative impacts identified:

<b>Local, national, international supply chains</b>	Potential for higher costs to buy local supplies and potential difficulty in sourcing locally
<b>Human rights</b>	None identified
<b>Broader service provision in the local area or the region</b>	None identified